

# ***Public Kick-Off Meeting***

to create a new

**Plan, Code & Design Standards**

for Little Rock's

***Mansion Area***



**November 16, 2022**





# Introductions



## CZDC Commissioners:

- Patrick Anders
- Sarah Bennings
- Beverly Jones
- Julie Mullenix
- Amanda O'Neal
- Mike Orndorff
- Hannah Ratzlaff
- James Smith
- Carol Worley

## Key Staff:

- *Amy Jones: Director*  
Capitol Zoning District Commission
- *Joseph LaRue: Planning & Preservation Coordinator*

## Consultant Team:

- *Phil Walker, FAICP:*  
The Walker Collaborative  
Nashville, TN
- *Andy Kitsinger, AIA, AICP:*  
Development Studio  
Memphis, TN
- *Antoinette Johnson, PhD, ASID:*  
Johnson Consulting  
Little Rock, AR
- *Brian Minyard, AICP:*  
Brian Minyard Consulting  
Little Rock, AR



# Meeting Outline



- **Project Overview**
- **Existing Conditions by Districts**
- **Existing Rules & Master Plan**
- **Issues to Consider**
- **Discussion**





# Project Overview



## Two Study Areas:

The Capitol Zoning District Commission (CZDC) is a State-designated body that oversees the planning and regulation of two areas:

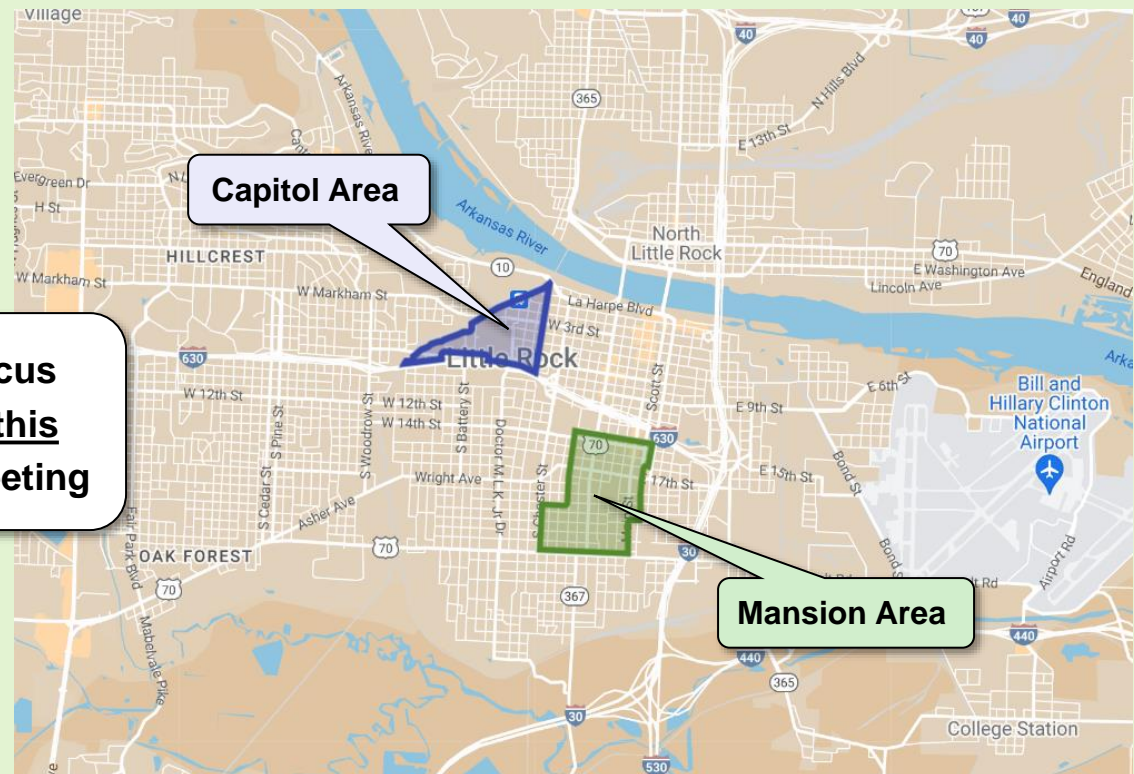
### Capitol Area

- 193.6 acres
- Anchored by the State Capitol
- Mixed uses, but particularly offices

### Mansion Area

- 335.3 acres
- Anchored by the Governor's Mansion
- Primarily housing, with supporting commercial and other uses

**Focus  
of this  
meeting**





# Project Overview



## Project Objective:

To rewrite the existing 1998 “Rules and Master Plan” (amended over the years)

## Project Approach for Both Study Areas:

1. Area Analysis & Initial Public Engagement
2. Master Plan Assessments & Revisions
3. Administrative Policies & General Standards Revisions
4. Design Standards Update & Expansion
5. Plan & Policy Documents Final Revisions







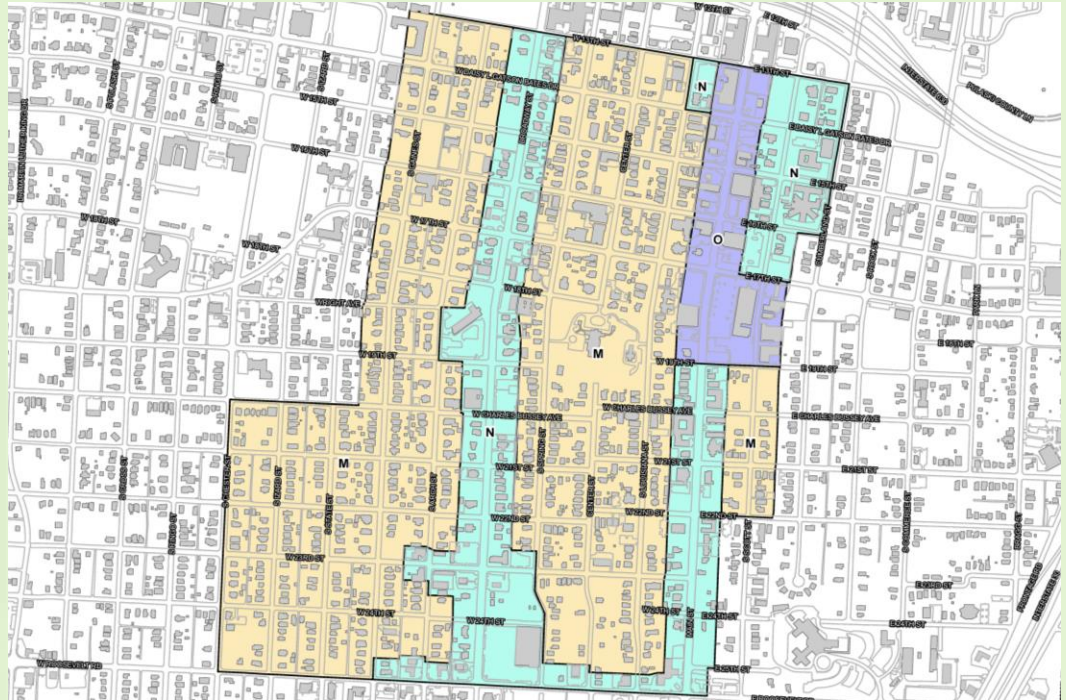




# Existing Conditions by Districts



## M. Mansion Area Residential



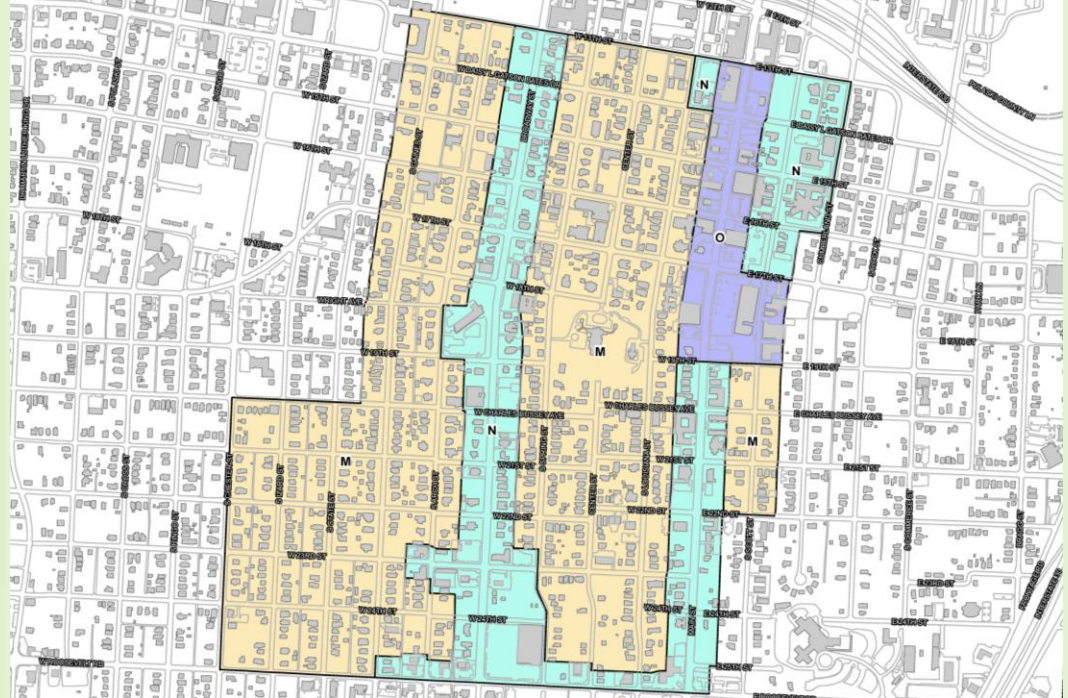




# Existing Conditions by Districts



## N. Neighborhood Commercial



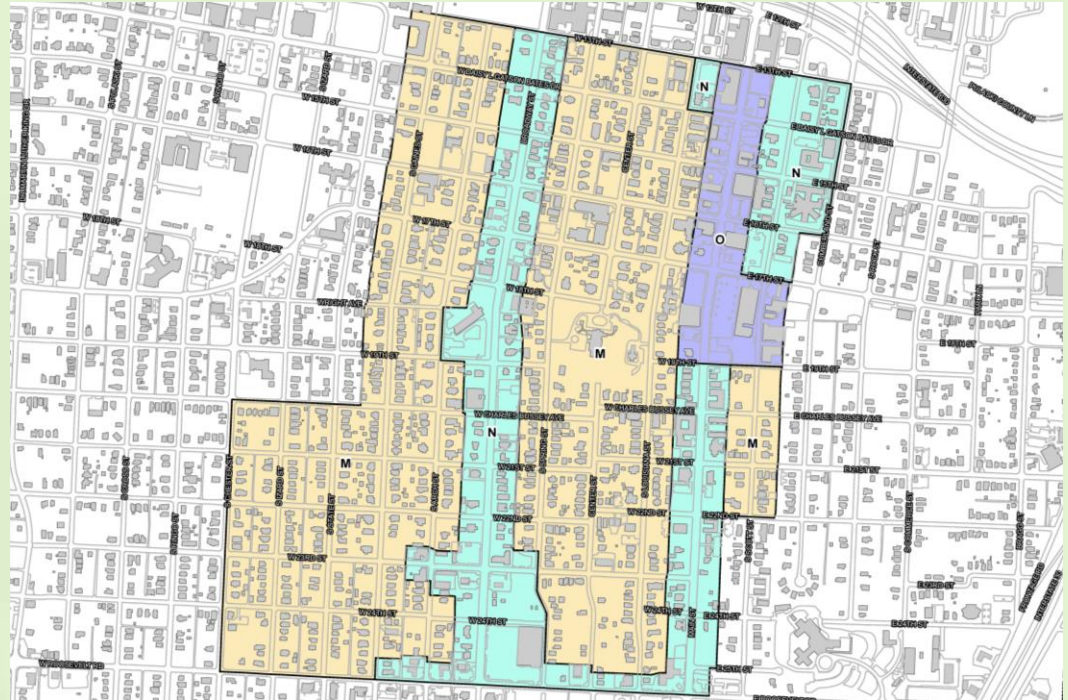




# Existing Conditions by Districts



## O. General Commercial





# Existing Rules & Master Plan



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# Existing Rules & Master Plan



## Administrative Rules & Procedures

- Section 2-101: Organization
- Section 2-102: Administration
- Section 2-103: Advisory Committees
- Section 2-104: Application
- Section 2-105: Permit Approval Procedure
- Section 2-106: Enforcement
- Section 2-107: Demolition by Neglect
- Section 2-108: Non-Conforming Uses of Land and Structures
- Section 2-109: Appeals
- Section 2-110: Amendments to the Capitol Zoning District Master Plan & Rule





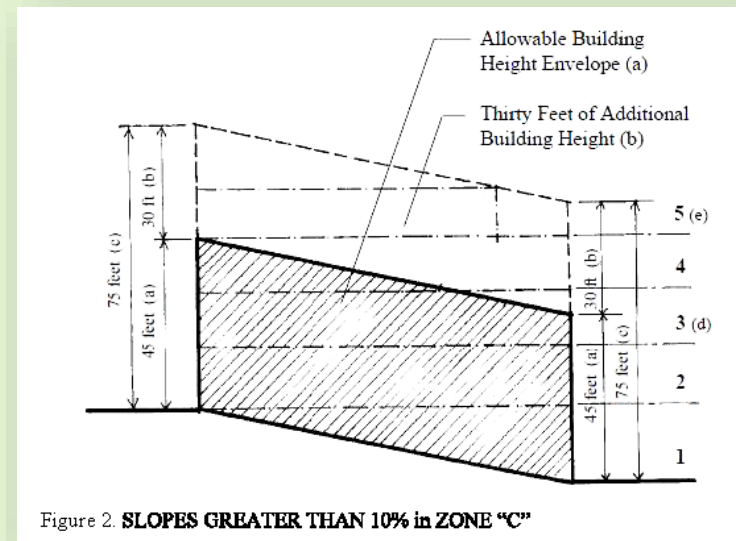
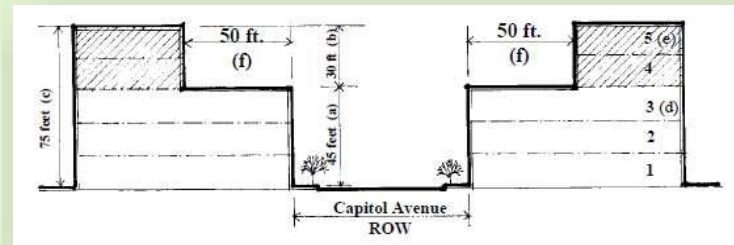


# Existing Rules & Master Plan



## General Standards

- Section 3-101: Purpose and Applicability
- Section 3-201: Zoning Requirements
- Section 3-202: Additional Zoning Requirements and Definitions
- Section 3-203: Use Groups
- Section 3-301: Parking Requirements
- Section 3-401: Signage Requirements
- Section 3-501: Outdoor Lighting Requirements
- Section 3-601: Tree Protection
- Section 3-701: Archeology
- Section 3-801: Renewable Energy and Sustainability





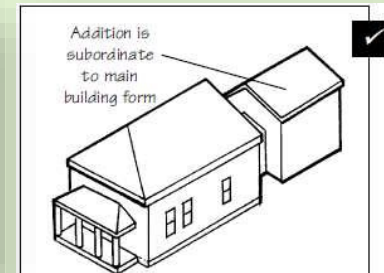
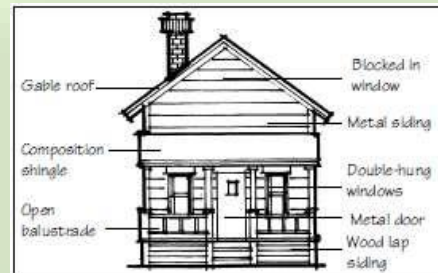
# Existing Rules & Master Plan



## Rehabilitation Standards for Historic Properties

- Section 4-101: Purpose & Applicability
- Section 4-102: Preservation in the Capitol Zoning District
- Section 4-103: Basic Preservation Theory
- Section 4-104: Preservation Principles
- Section 4-201: Historic Streetscape & Site Design Feature
- Section 4-202: Historic Building Materials
- Section 4-203: Windows
- Section 4-204: Doors
- Section 4-205: Porches
- Section 4-206: Architectural Details
- Section 4-207: Roofs
- Section 4-208: Additions
- Section 4-209: Secondary Structures
- Section 4-301: Interpretation of Terms Related to Compliance
- Section 4-302: The Secretary of the Interior's Standards
- Section 4-303: Architectural Styles of the Capitol and Mansion Areas

Note: Most standards in other communities locate the last two items toward the beginning.





# Existing Rules & Master Plan



## Master Plan: *Goals*

1. To preserve the character of the Mansion Area neighborhood and individual historic buildings
2. To revitalize existing housing, to promote new infill housing development and promote diversity among residents
3. To rehabilitate dilapidated historic structures in and around the neighborhood
4. To create an improved image and stronger sense of identity
5. To continue to develop a more family-friendly environment for residents and visitors alike
6. To establish new and to better define existing gateways into the neighborhood
7. To create a mixture of uses throughout the neighborhood
8. To enhance the pedestrian experience throughout the commercial areas
9. To establish a sense of visual continuity within the Mansion Area neighborhood
10. To accommodate and promote commercial land uses along Broadway, Roosevelt, and Main Street that complement and preserve the residential character of the neighborhood





# Existing Rules & Master Plan



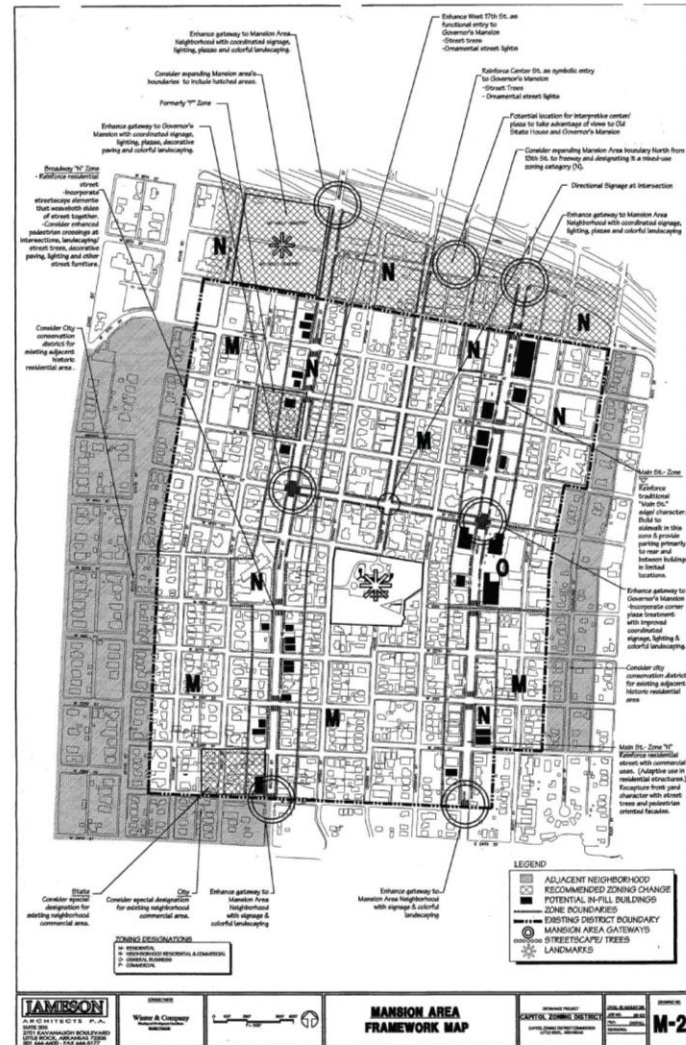
## Master Plan: Master Plan Map

### Key Neighborhood Issues

- Lack of commercial maintenance
- Lack of neighborhood convenience services
- Recent infill development out of character with neighborhood
- Unprotected front door between Mansion Area boundary and freeway
- Commercial impacts (noise, traffic)
- Inappropriate zoning/uses
- Inappropriate building alterations
- Parking in front yards
- Lack of sidewalk maintenance (who's responsible?)
- Adjacent residential uses to east and west similar in character

#### SECTION 6-301 MANSION AREA FRAMEWORK MAP

This map shows the locations of many of the recommendations described in this article. (NOTE: This map represents the Mansion Area's boundaries as they existed in 1998.)



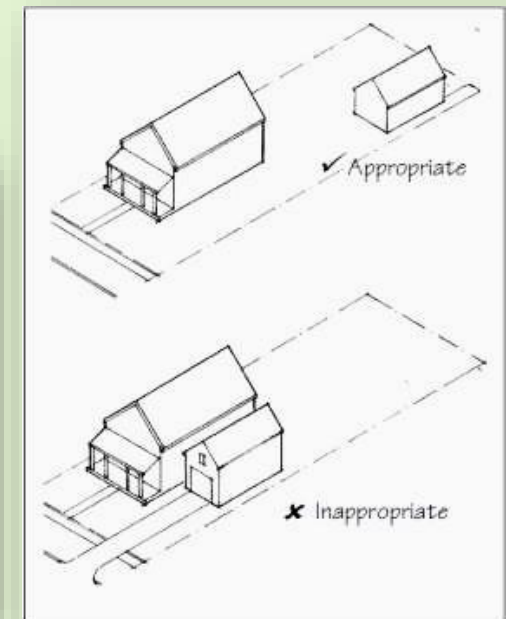
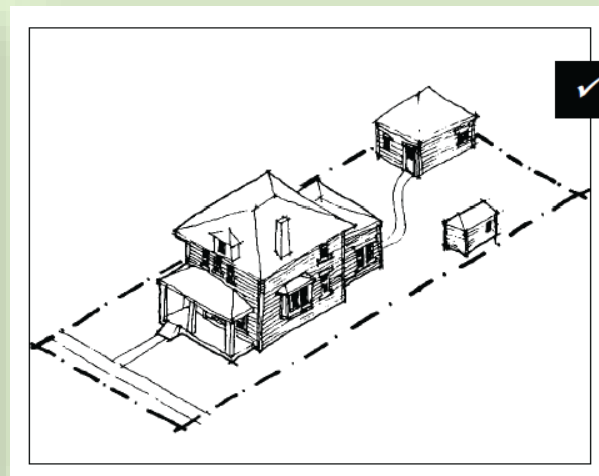
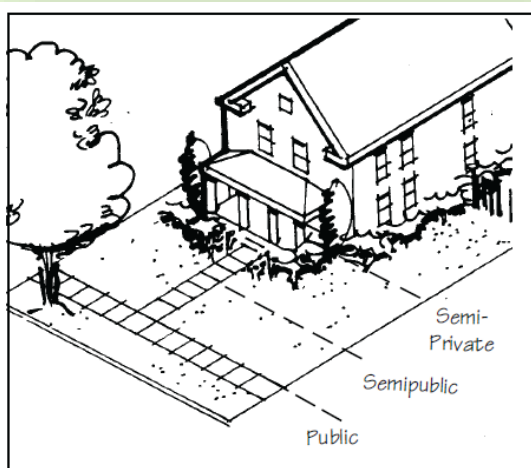


# Existing Rules & Master Plan



## Design Standards

- Section 8-101: Introduction
- Section 8-102: Traditional Neighborhood Characteristics of the Mansion Area
- Section 8-201: Design Standards for New Construction in Zones “M” & “N”
- Section 8-202: Traditional Development Characteristics in Zone “O”
- Section 8-203: Design Standards for Zone “O”
- Section 8-204: Parking Areas and Landscape

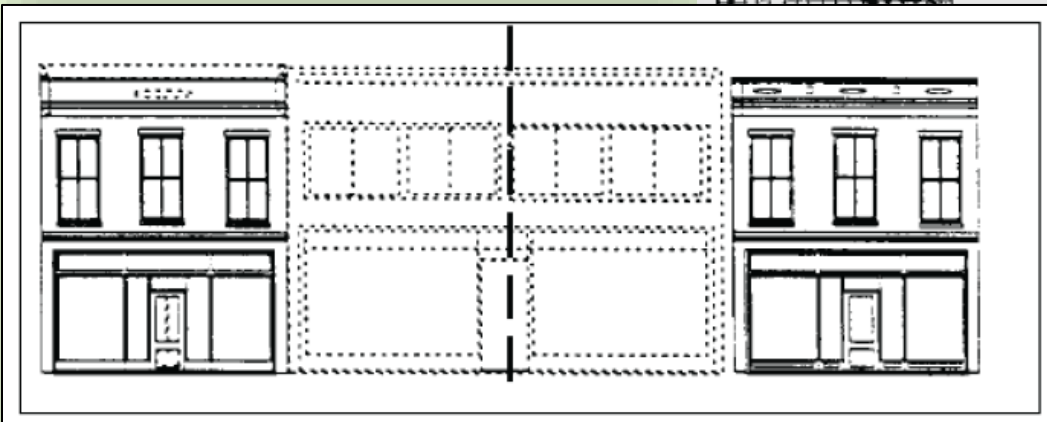
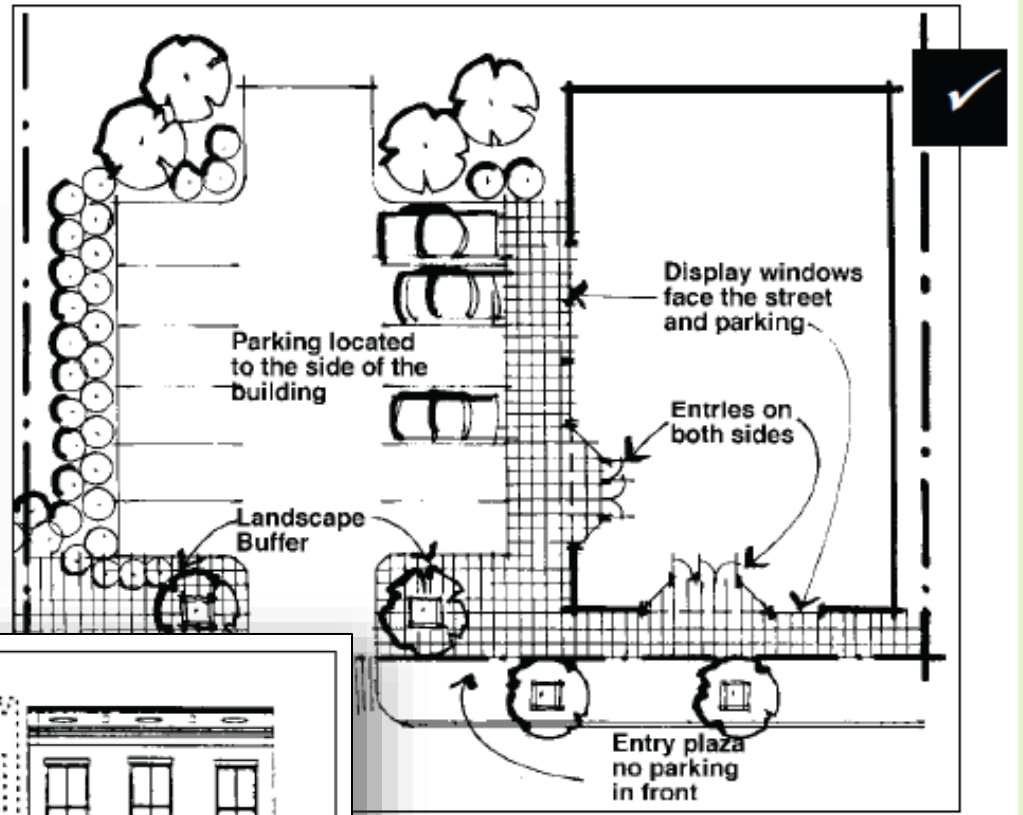
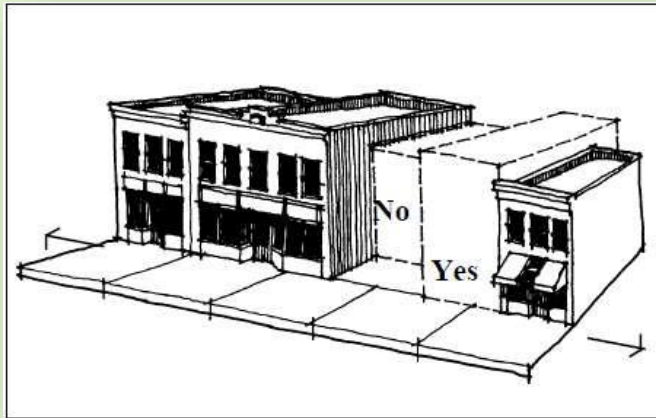




# Existing Rules & Master Plan



## Design Standards







# Issues to Consider



## General

- What works well with the Rules & Master Plan that we should keep?
- What are current challenges and opportunities to be considered?

### **Life has changed since the 1998 Rules & Master Plan were adopted**

- We get our information and communicate differently (online, social media).
- More people are living in cities - shift from single-uses to more mixed-uses in neighborhoods and buildings.
- Higher priority for walkability and “complete streets” for expanded uses.
- Public security threats have a larger impact on the way we build.
- We get more consumer goods by delivery (Amazon, Uber Eats, etc.).
- Transportation is changing with micro-mobility and autonomous vehicles.
- Climate change and sustainability are now much more prominent issues.



# Issues to Consider



## Organization of the Current Document – Is it effective and user-friendly?

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*Should reference sections such as Sec. of Interiors Standards and Area Master Plans be separated as appendices rather than sections of the document?*



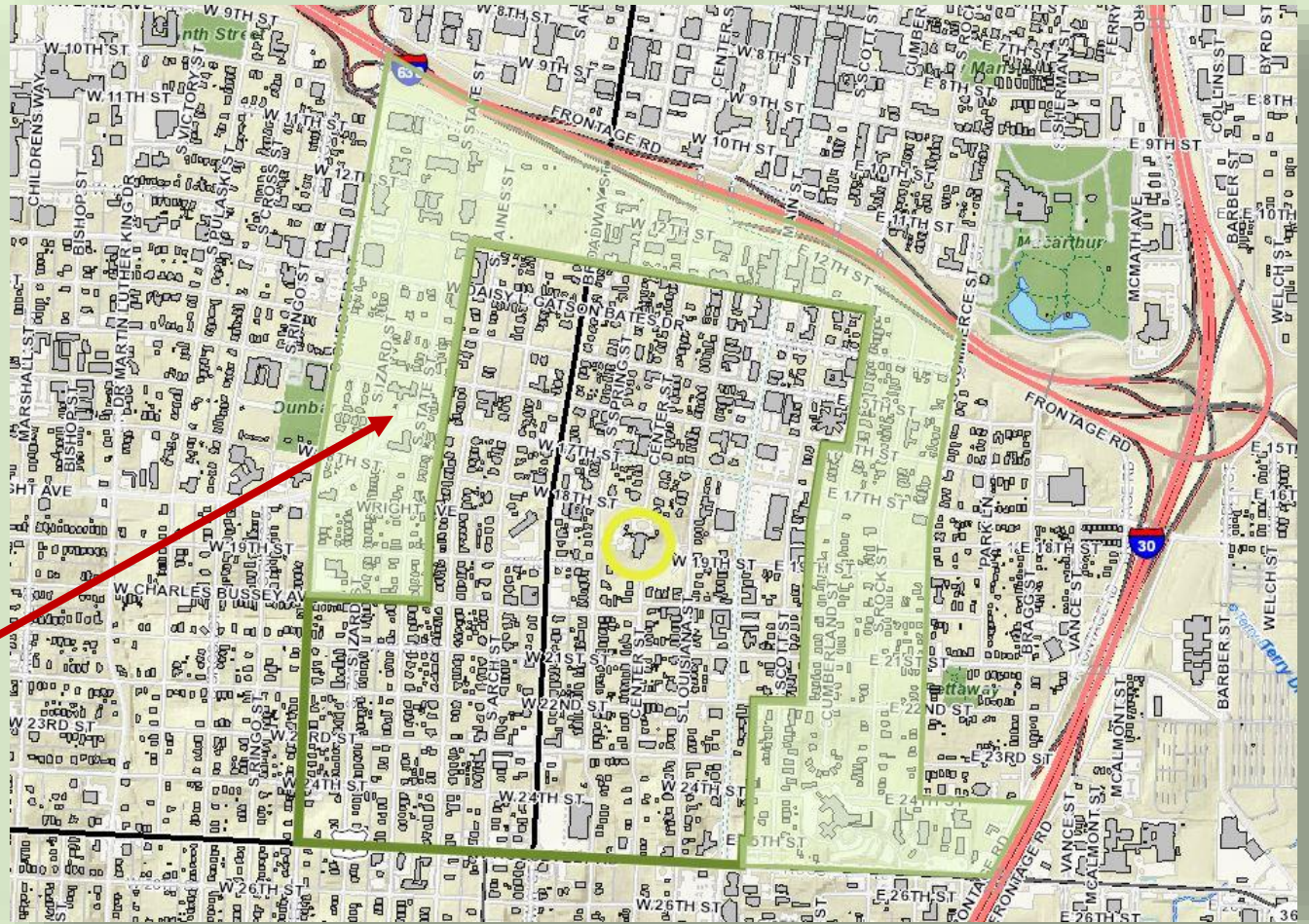
# Issues to Consider



## Mansion Area Boundaries – Should they be expanded?

Per the statute creating the Mansion Area, the area highlighted can be expanded via a two-thirds vote by the CZDC.

Area previously identified for potential future expansion







# Issues to Consider

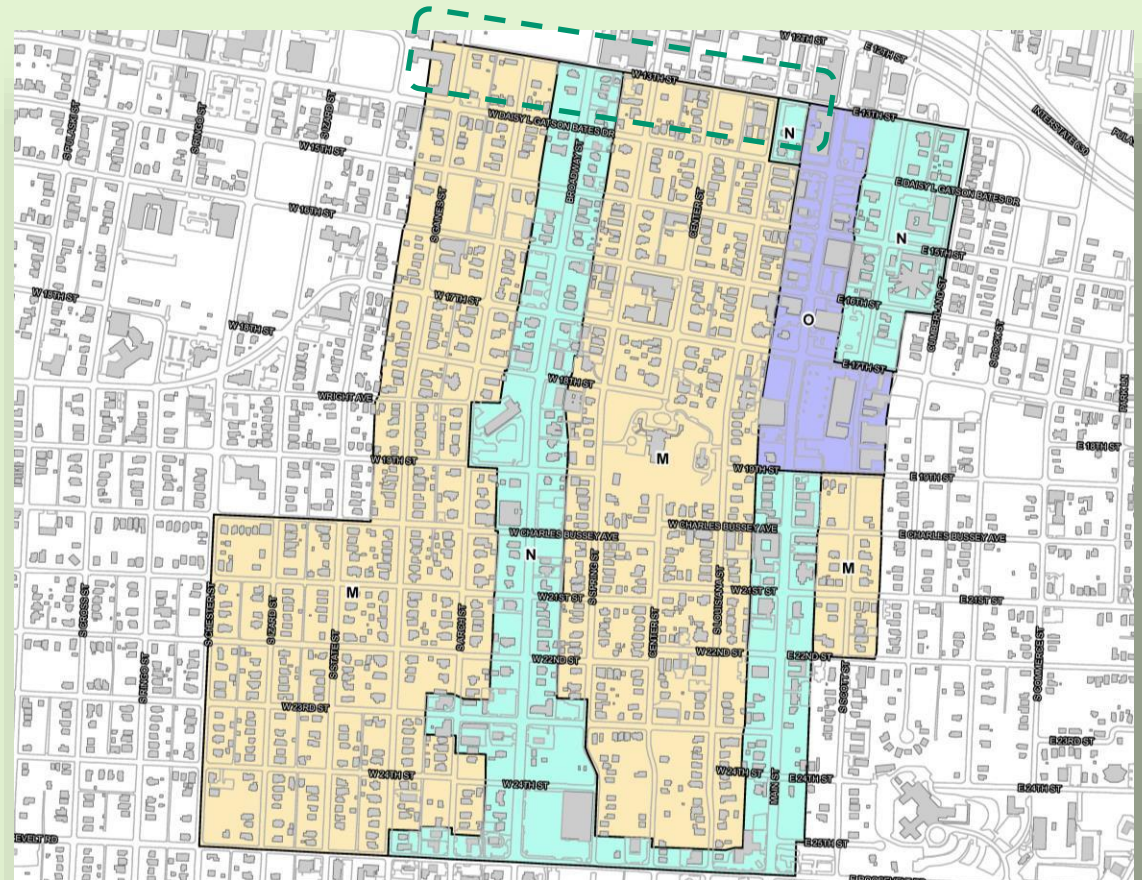


## Zoning Districts of Mansion Area

Are there portions of any east-west corridors which have become:

- N.** Neighborhood Commercial
- O.** General Commercial

(i.e., 13<sup>th</sup> Street)





# Issues to Consider



## Overlay Zoning Districts in Mansion Area

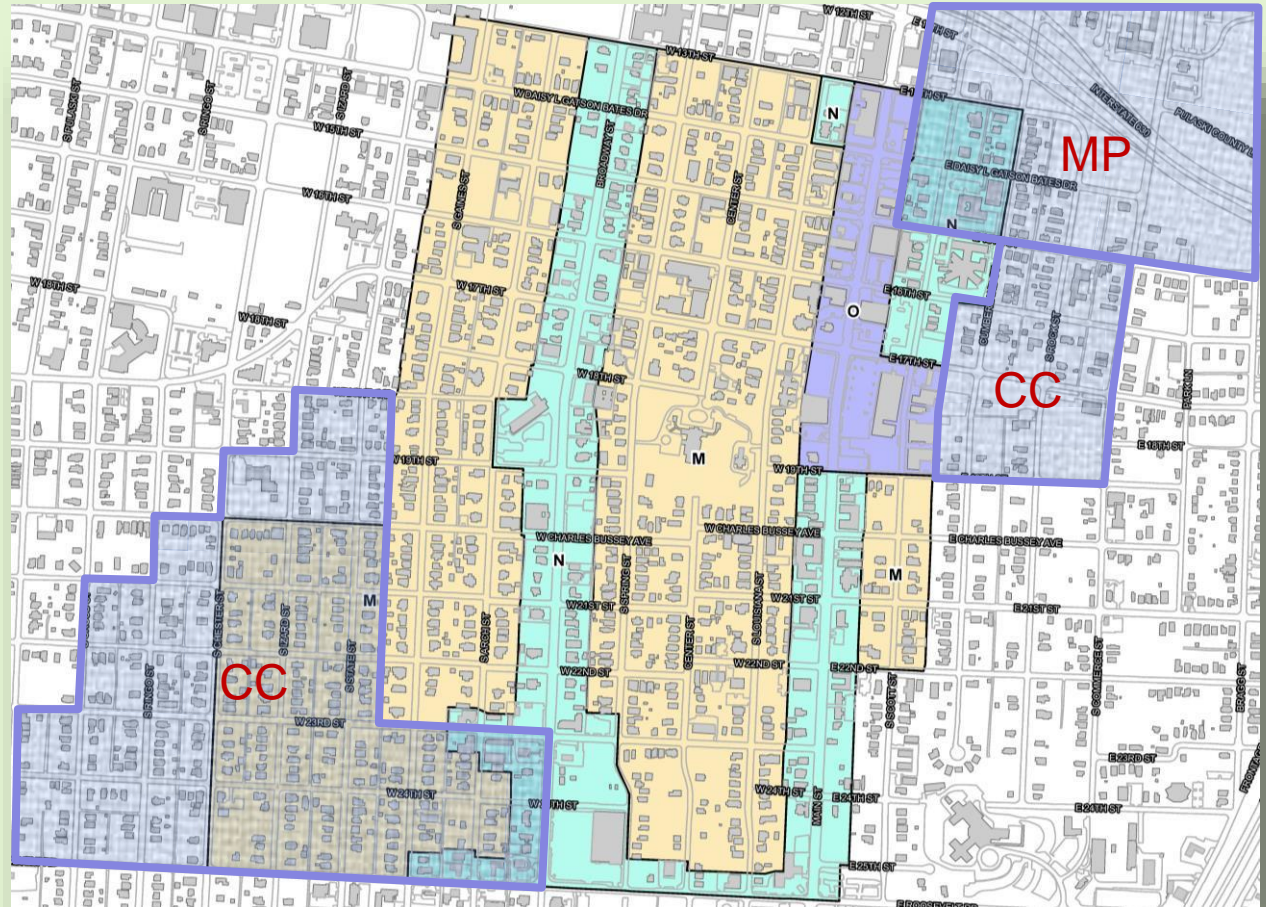
M. Mansion Area Residential

N. Neighborhood Commercial

O. General Commercial

CC Central City Overlay District

MP MacArthur Park Overlay District






# Issues to Consider



## Required Review Based on the Visibility of Changes

- What should be the threshold to determine what can and cannot be reviewed for both the Rehabilitation Standards and the Design Standards?

**VISIBILITY DIAGRAMS**



**HIGH: Street-facing Facades**  
Facades with visibility from a public street require the highest level of consideration. Corner lots, like the diagram above, are particularly significant.

**MODERATE: Side Facades Visible from Streets**  
Side facades with visibility from a public street require a high level of consideration. Determination of visibility will require field observation.

**LOW: Areas Not Visible from Streets**  
Facades with no, or very limited visibility, from a public street require the least level of consideration.

Most standards in other communities follow one of these three options:

- Only review changes visible from a street
- Review any changes visible from a public ROW (including alleys)
- Review any changes, regardless of how visible





# Issues to Consider



## Language for the Rehabilitation Standards for Historic Properties

- Should a different approach be taken to distinguish mandatory standards from those that are more flexible?

### Current Provision:

#### *SECTION 4-101 PURPOSE & APPLICABILITY*

*C. An asterisk (\*) adjacent to a statement in the text in this article indicates that it is a standard that will not be waived by the Capitol Zoning District Commission for historic structures or site features built during the District's period of significance and/or listed in the National Register of Historic Places, except as an Economic Hardship (see Section 2-105 C.4).*

Most design standards in other communities follow one of these three options:

- Use the term “shall” (must, etc.) for all standards
- Use the term “should” (encouraged, discouraged, etc.) for all standards
- Use either term, depending upon the particular standard



# Discussion



**What is your opinion?**



# Thank You



**Your input is  
critical!!!**