

**CAPITOL ZONING DISTRICT COMMISSION
STAFF REPORT 2023-018
9/21/23
JCL**



Location: 17th & Scott
Applicant: Cope Gracy for Riverwalk Properties, LLC.
Permit Types: Certificate of Appropriateness

Project Description: The applicant is seeking a Certificate of Appropriates to demolish an existing car wash and construct 12 new, single bedroom townhomes. The proposal is part of a larger development split by the CZDC boundary between Scott and Cumberland Streets, where 12 additional units are proposed. Those units within the CZDC boundary are labeled as Phase 2 on the site plans.

Material lists includes:

- Modular brick (3 colors)
- Standing seam metal awnings
- Prefinished metal gutter and downspouts
- Architectural asphalt shingles
- Vinyl windows

Historic Significance: This section of Scott Street is first included in the 1849 plat of the city, with a dwelling appearing on the lot in the 1897 Sanborn map. By 1939, the dwelling had been removed and the lot remained vacant until the existing auto service station was built in the 1960s and rebuilt again in 1999.

Previous Action: Records indicate the property has had a continued use as an auto service center, with permits for continued use from 1983, 2014 and 2018. A Certificate of Appropriates was issued in 1999 to rebuild the structure.

Zoning: This property is in Zone “O”, General Commercial. This zone allows for a broad mix of urban residential and business uses. Commercial-style buildings with traditional storefronts should be the predominant building form.

Review Standards for Certificates of Appropriateness:

Capitol Zoning District Commission Rule and Procedure, Section 2-105 *Permit Approval Procedure*

C. 1. (b) A Certificate of Appropriateness shall ... be required for the erection of any new structure ... Applications for new construction requiring Commission approval will first be scheduled for a review by the Design Review Committee which will make a recommendation regarding proposed work's appropriateness in historical style in the context of adjoining or neighboring structures; and its consistency with the goals of the Commission's Master Plan and Standards.

C. 1. (c) A Certificate of Appropriateness shall be required for the total or partial destruction of any structure, accessory structure or site improvement. Application for demolition which require approval of the Commission, will first be scheduled for a review by the Design Review Committee which will make a recommendation regarding the architectural, historical, or cultural significance... the impact of demolition on the character of the neighborhood and the District and on the goals of the Master Plans.

F.1. All changes in the Capitol Zoning District will be evaluated according to the General Standards and the applicable Area Master Plan. Also,

(b) ... new construction, shall be evaluated according to the applicable Design Standards

F.5. (a) In reviewing the application, the Commissioners shall consider the application and base their decision upon the report of the Staff, the recommendations of the Design Review Committee, advice from Advisory Committees, impact of the proposal on the property, neighboring properties, the District as a whole, the goals of the Master Plan, any applicable review criteria, and the evidence or testimony presented by the applicant(s) and other interested parties. The Commission shall approve the permit(s) if it finds the proposal to be substantially consistent with the applicable review criteria.

Staff finds the proposal constitutes a request to demolish and existing structure and erect a new structure. This requires a Certificate of Appropriateness that must be reviewed by the Design Review Committee, Mansion Area Advisory Committee and by the Commission. Staff also finds the proposal should be evaluated using the General and Mansion Area Design Standards, as well as the Mansion Area Master Plan.

Capitol Zoning District General Standards, Section 3-201, *Zoning Requirements*

Z8. Zone O "General Commercial"

1. Setbacks

Front, all properties	= maximum 0ft (mandatory build to sidewalk)
Rear, all properties	= maximum 5 ft
Side, all properties	= maximum 5 ft

2. Ground Coverage Ratios

Lot area per dwelling unit	= minimum of 1,200 square feet
Enclosed floor to lot area	= maximum 1.5 : 1.0

3. Building height

All properties	= maximum 3 stories or 45 feet
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4. Permitted uses

Allowed by right	=Residential 1, Office 1, Commercial 1
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Allowed with Commission review

= Residential 2, Office 2, Commercial 2-3, Civic 1-3

Staff finds the proposal is partially consistent with these standards. Residential 2 (multifamily) includes townhomes. If the front runs along 17th street, the west side setbacks maintain 5 feet from the property line, however the east side is 36 feet. The front setback includes a mandatory build to sidewalk, although staff believes maintaining the proposed 2.5 feet from the property line is more appropriate for this building type. Both would require a waiver of the general side setback standard for Zone O.

The 18,354 square foot lot is within the minimum lot area for the number of dwelling units and has a FAR of 0.52, well below the 150% maximum.

Capitol Zoning District General Standards, Section 3-301, *Parking Requirements*

P1. Requirement

There shall be provided for use in any zone the number of off-street parking spaces required for that use as listed in Standard P14, “Required Parking Spaces by Use”, unless the number of parking spaces required is 6 or fewer...

***P14. Required Parking Spaces by Use**

4. Residential

Two family and multi-family dwelling

= 1 per bedroom unit

Staff finds that 12 of the total 14 on-site parking spaces are required.

P5. Use of Right-of-way for Provision of Required Parking

The public street frontage immediately adjoining the parcel(s) containing the current or proposed use may be considered as fulfilling or partially fulfilling the parking requirements in this section.

Staff finds that roughly 44 feet along Scott Street could accommodate at least two additional spaces and may partially fill this requirement.

P8. Pavement Requirements

(C) Proposals for traditional asphalt or concrete pavement in conjunction with multifamily or non-residential uses will be evaluated by the Commission on a case-by-case basis.

P10. Parking Spaces for the Disabled

The requirements for disabled and accessible parking set forth in the Little Rock Code of ordinances, as it existed on the date of the most recent amendment to this Rule, shall be in full force and effect erecting, constructing, enlarging or otherwise altering or improving a vehicular use area.

Little Rock Code Sec. 8-55 specifies the 1 reserved space shall be provided for every 25 spaces. A total of two reserved spaces shall be required.

P12. Parking Lot Design and Landscaping Requirements

2. Refer to Capitol Area Design Standards for additional standards relating to parking lot design and landscaping. These standards are also appropriate for any large parking areas in the Mansion Area.

*Section 8-204, *Parking Areas and Landscaping*

O14. Minimize the negative visual impact of cars parked on site.

- Screen parking areas from view of public ways and designated view corridors with landscaping.
- Divide parking lots into smaller areas with planted buffers between them to minimize the perceived scale of the total field of stalls.
- Locate parking behind buildings.

O15. Parking lots should be designed to blend with each building site's character using landscaping and grading.

- Utilize landscaped island and medians to define circulation patterns, provide shade for parked cars and break up continuous rows of parking.
- Low walls or fences may also be included in the landscaped area.

O16. Use visual buffers to screen parking lots.

- Where a separation in grade is not possible, or when screening a service area, incorporate a hedge, fence or wall.
- Trees and shrubs may be used separately or together to form an intensive plant screen.
- Use evergreen or deciduous shrubs to create hedges or screens.

Staff finds the landscape plan is consistent with these standards, however specific consideration should be given to the plant species and their location in accordance with the City of Little Rock landscape code. Plantings along 17th street should consider the overhead powerlines as well as the pedestrian experience. Emphasis should also be placed around screening drive-ins and the dumpsters.

Capitol Zoning Rehabilitation Standards, Section 4-201, *Historic Streetscape & Site Design Features*

Policy: Historic streetscape and site features that survive should be preserved. In addition, new features should be compatible with the historic context.

R1.8 A new front yard fence should be in character with those seen historically.

- The fence should keep with the building style.
- A metal picket fence, in character of traditional wrought iron, is preferred. A painted wood picket fence is also an appropriate alternative in most locations.
- A fence that defines the front yard is usually low to the ground (40 inches or less). This scale should be maintained.
- On corner lots, both sides that abut public sidewalks and/or streets should be treated as front yard fences.
- For the purposes of this section, a front yard is that portion of a parcel from the street to a line coplanar with the building's front façade, not including the front porch. For corner lots, the front yard will continue along the side façade facing the cross street to a line coplanar with the rearmost corner of the building, not including any rear porches or non-historic additions, or with the required rear yard setback.

R1.10 A solid fence may be used in a rear or side yard.

- Although the use of transparent fences is also encouraged in rear and side yards, a solid stockade fence may be used where privacy is a concern.
- Privacy fences in back yards and along alleys should be 72 inches (6 feet) or less.

- A backyard fence on corner lots with an adjoining property to the rear should be setback from the right of way according to either the front yard setback for that zone, or coplanar with the front façade of the building behind it, whichever is less.

Staff finds the proposal for fencing to be partially consistent with these standards and would require a waiver of Standard R1.8. While the rear 6-foot wood privacy fence is appropriate, the 6-foot wrought iron fence located off the structures west façade (corner), is within the setback limit, nor coplanar with the façade of the structure behind it.

Mansion Area Design Standards, Section 8-203, *Design Standards for Zone "O"*

Policy: Creative solutions that are compatible with the historic character of the neighborhood are strongly encouraged...

O1. Develop the ground floor level of all projects to encourage pedestrian activity.

- Use commercial storefronts to provide pedestrian interest along the street.
- Large storefront display windows, located at street level...
- Primary building entrances should be at street level.

O2. Maintain alignment of facades at the sidewalk's edge.

- Place the façade of the primary building at the property line is required by the General Standards and should be modified only in special circumstances. Locating entire building fronts behind the established storefront line is inappropriate.
- Parking should not be located in the front of the building.

O3. Maintain the average scale of two-story buildings at the sidewalk.

- New construction should present a tall one-story or two-story façade at the front property line.
- Façade heights of new buildings should fall within the established range of the block and respect the historic proportions of height and width.
- Floor-to-floor heights should appear similar to those of historic buildings in the area.

O4. Traditional spacing patterns created by the repetition of similar building widths should be maintained.

- Building widths typically were between 25 and 50 feet. No façade should exceed 50 feet without clear expression of the standard module.
- Where buildings are planned to exceed this width, use a change in design features to suggest the traditional building widths. Change in façade material, window design, façade height, or decorative details are examples of techniques that may be considered.

O5. The basic building form should be rectangular.

- Rectangular form should be vertically oriented.
- The façade should appear as predominantly flat, with any decorative elements and projecting or setback "articulations" appearing to be subordinate to the dominant form.

O6. A flat roof should be the predominant roof form.

O7. Use building materials that are similar to those employed for all major surfaces.

- Materials should be similar in appearance to those used historically. New materials may be used if their appearances are similar in scale, texture and finish to those of the historic building materials.
- Brick, similar in scale and color to that seen historically, is preferred. Stucco may be considered if detailed to express traditional trim elements and building module dimensions.

O8. The general alignment of horizontal features on building fronts should be maintained along Main Street.

O9. Special features that highlight buildings on corner lots may be considered.

- Develop both street elevations to provide visual interest to pedestrians.

O10. Use traditional storefront components at the street level.

O11. Maintain the traditional spacing pattern created by upper story windows.

- Upper floors should be perceived as being more opaque than the lower floor.
- Also express the proportions of historic windows.

O12. Maintain the pattern created by recessed entry ways.

Staff believes the proposal generally meets these design standards as Zone O allows for a broad mix of urban residential and business uses. Considering the building type and its location adjacent to Main Street, compatible residential development here is appropriate.

The expression of standard modules is maintained through the townhomes projecting gables, as well as differentiation in brick color. The soldier course also helps to break up the façade and provides other visual interest. Rooftop mechanicals will be screened from 17th street while both east/west facades are not void of any windows.

Mansion Area Master Plan, Section 6-201, *Mansion Area Goals & Recommendations*

A. Mansion Area Goals

2. To revitalize existing housing, to promote new infill development...
4. To create an improved image and stronger sense of identity.
6. To establish new and to better define existing gateways into the neighborhood...
7. To create a mixture of uses throughout the neighborhood.
9. To establish a sense of visual continuity within the Mansion Area neighborhood.
10. To accommodate and promote commercial land uses along Broadway, Roosevelt, and Main that compliment and preserve the residential character of the neighborhood.

Staff believes the proposal to build new townhomes substantially meets these goals. Overall, the development would infill two underutilized lots and provide a level of density adjacent to Main Street. Similarly, development along this portion of 17th Street would better define the transition between traditionally residential and commercial zones.

Neighborhood Reaction: At the time of distribution, there has been no neighborhood reactions.

Design Review Recommendations: Design Review Advisory Committee continued their regular meeting on September 13th, 2023, and motioned to approve staff recommendations 5-0 with the following conditions and suggestions.

Conditions:

- First floor windows shall be divided with surface muntins.
- The peaks of the gables shall contain a vent or brick detail.
- To comply with CZ/ LR landscape requirements.

Suggestions:

- Flipping the parking to face the rear property line.

Other DRC Discussion Points:

In the buildings current layout, questions were raised regarding the central greenspace and weather to meet the required side setback of a maximum of 5 feet. This would effectively shift the building to the interior. The applicant then stated the need to meet an existing overhead utility easement of 20 feet and could not meet the requirement.

Keeping to setbacks, it was discussed if a small porch around the entryways could be added to help meet the mandatory build to sidewalk requirement and create more livable space. However exact dimensions while still accommodating parking remain unclear. The applicant did state there would be two steps leading up to every entry.

The applicant also stated the guardrail at the roof's peak will be changed to a solid wall (horizontal lap) to address concerns of the structural engineer.

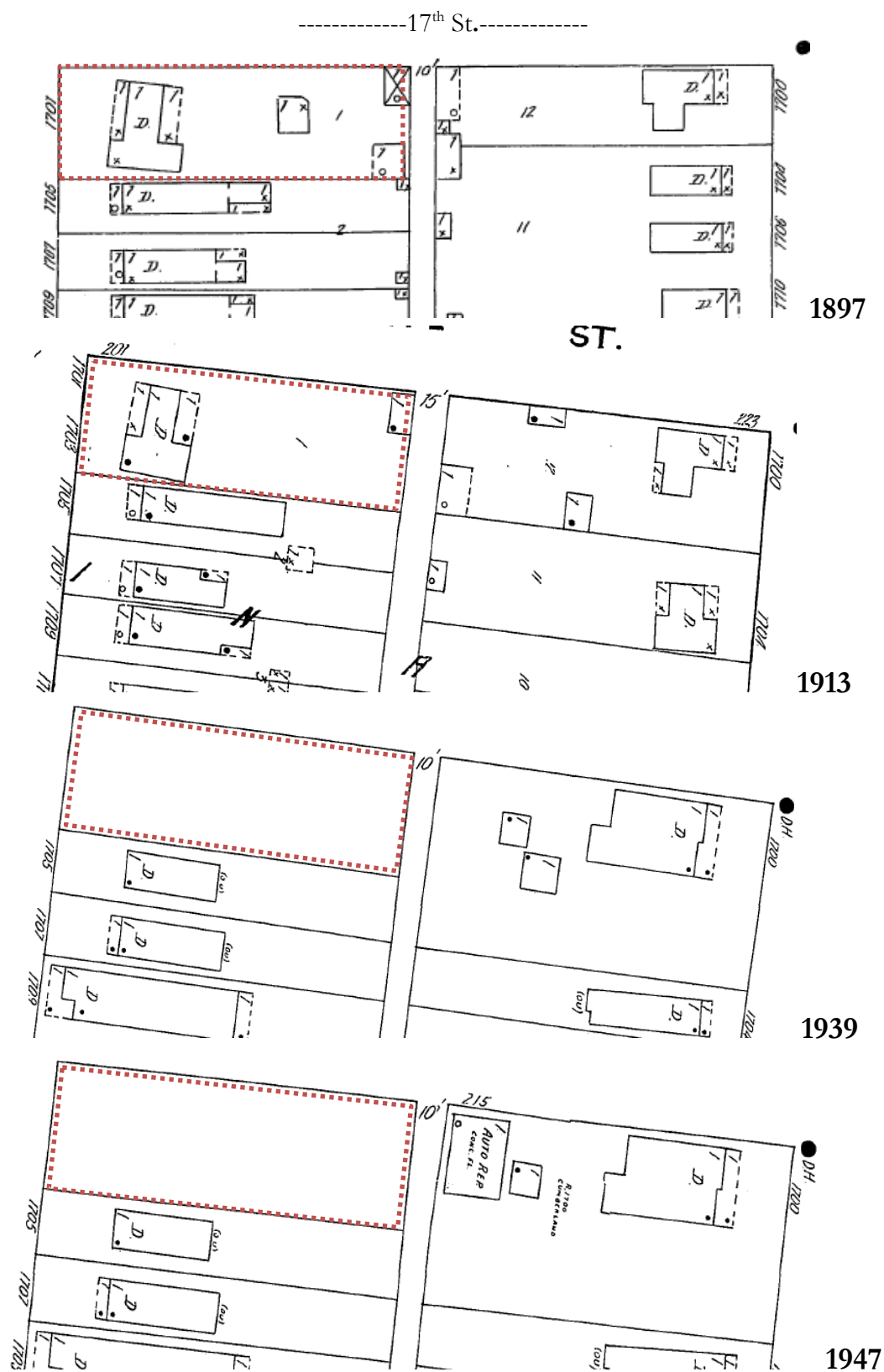
Finally, there was discussion about possibly turning the parking lot into a one way, the need to meet landscape screening requirements, and reducing the height of the courtyard fence from 6 feet to 40 inches.

Mansion Area Recommendations: Mansion Area Advisory Committee met at their regular meeting on September 14th, 2023, and motioned to approve staff recommendations. The motion passed 6-0. Discussion points reiterated Design comments and weather they were integrated in conditions of approval.

Staff Recommendation: Staff recommends **Approval** of a Certificate of Appropriateness to demolish the existing car wash and construct 12 new townhomes. Approval would include a waiver of setback standards for Zone O, and standard R1.8 for fencing with the following conditions:

- 1) That all state and city codes be followed at all times.
- 2) That the property be maintained in a neat and safe condition at all times.
- 3) Phase two parking to include 1 reserved space for the disabled.
- 4) First floor windows shall be divided with surface muntins.
- 5) The peaks of the gables shall contain a vent or brick detail.
- 6) To comply with CZ/ LR landscape requirements.

Sanborn Maps (1897-1947)



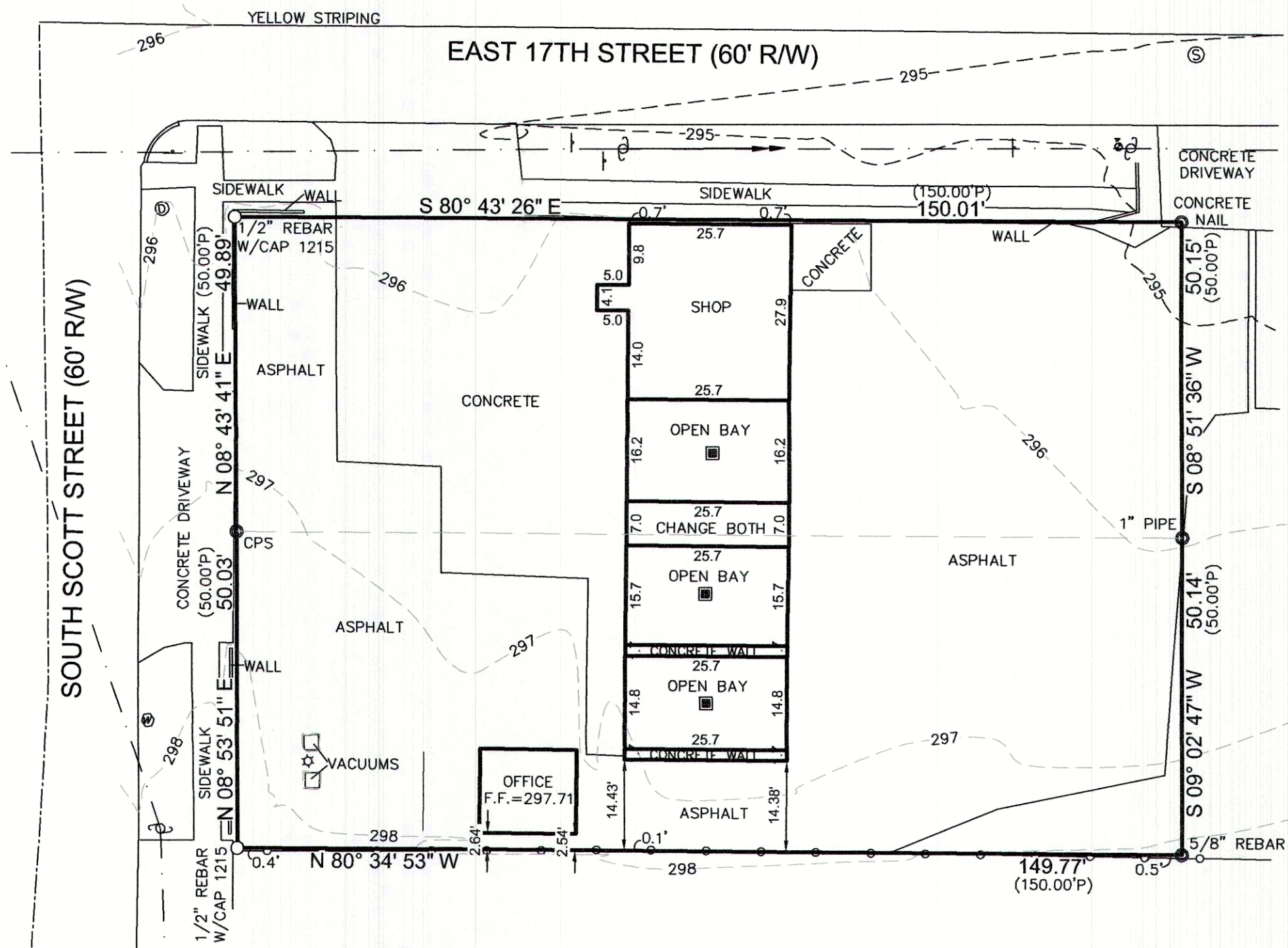
Spring 2023



17th & Scott



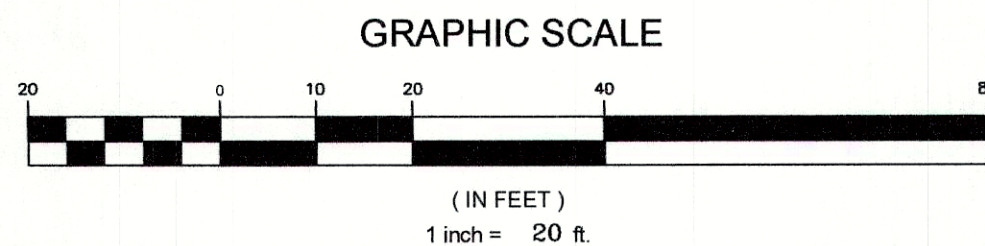
17th & Cumberland



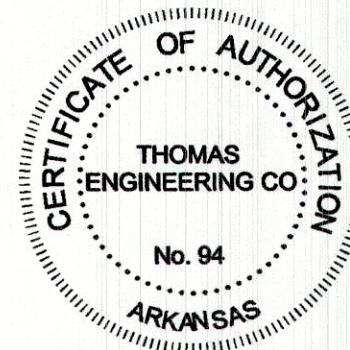
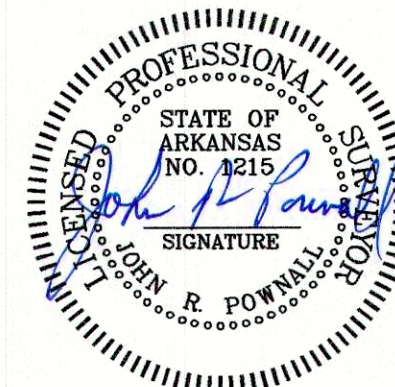
LEGEND	
	PROPERTY LINE
	OVERHEAD ELECTRIC LINE
	CHAIN LINK FENCE
	CURB & GUTTER
	UTILITY POLE & GUY
	WATER METER
	LIGHT POLE
	TELEPHONE PEDESTAL
	SIGN
	CURB INLET
	SANITARY SEWER MANHOLE
	GRATE INLET
	SHOWS 5/8" PIPE WITH CAP PLS 1215
	SHOWS FOUND SURVEY MARKER AS DESCRIBED

SURVEYOR'S NOTES

1. THE INFORMATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THIS SURVEY IS BASED ON RECORDS OF EXISTING UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS IN ADVANCE BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. BASIS OF BEARINGS: ARKANSAS STATE PLANE, NORTH ZONE (PAGIS).
3. THE PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 050181 0457 G DATED JULY 6, 2015.
4. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT TITLE SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.



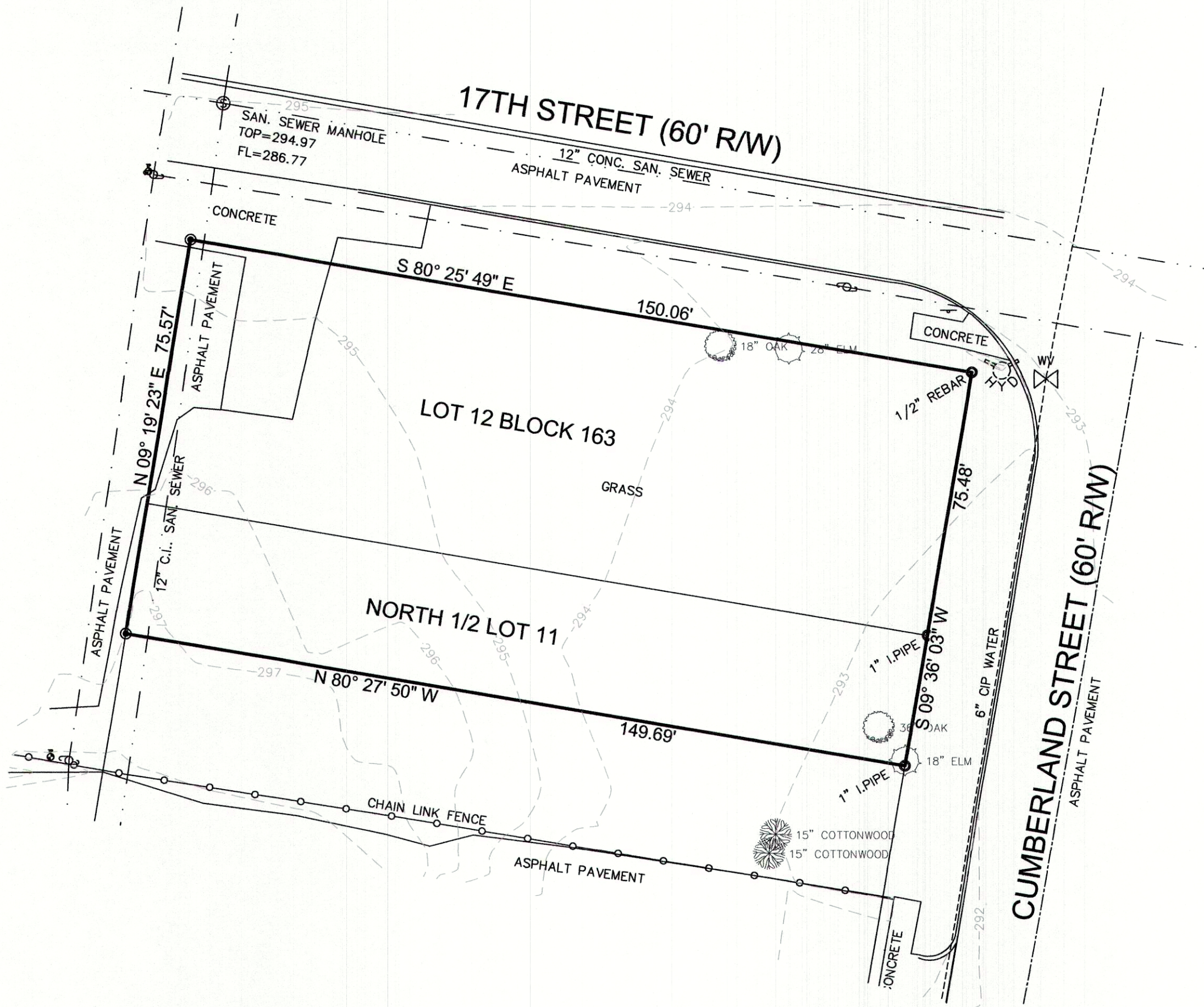
FOR USE & BENEFIT OF:
COPE GRACY



TE THOMAS
ENGINEERING
COMPANY
3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463

SURVEY OF
LOT 1 & 2, BLOCK 163,
ORIGINAL CITY OF LITTLE ROCK,
IN THE CITY OF LITTLE ROCK,
PULASKI COUNTY, ARKANSAS

APPROVED	DRAWN BY MJC	DATE 2/15/2022	SHEET NO. 1 OF 1
SCALE 1" = 20'			

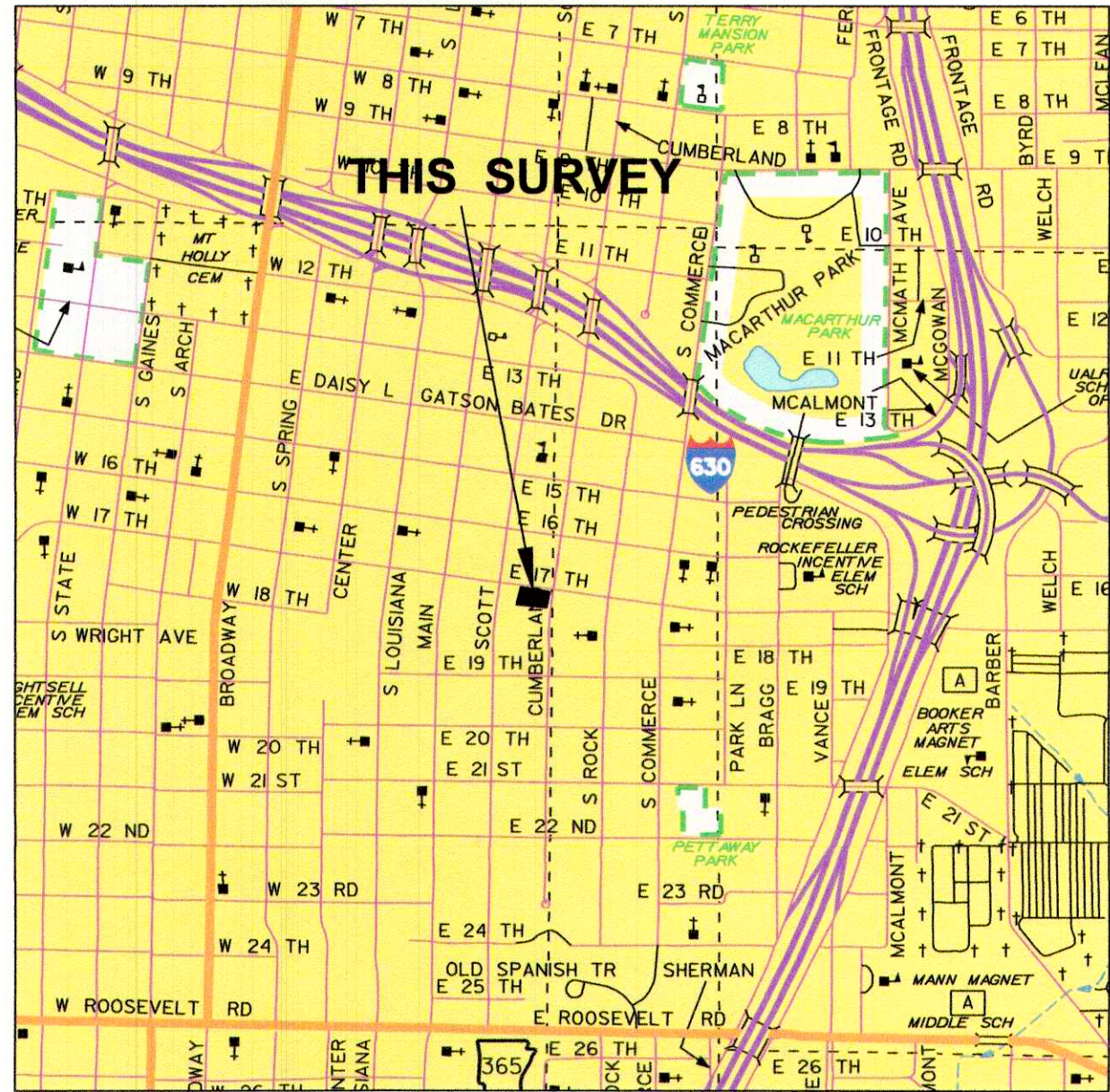


SURVEYOR'S NOTES

1. THE INFORMATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THIS SURVEY IS BASED ON RECORDS OF EXISTING UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS IN ADVANCE BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. BASIS OF BEARINGS: ARKANSAS STATE PLANE COORDINATES NORTH ZONE PAGIS
3. THE PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 050181 0457 G DATED JULY 6, 2015.
4. THIS PROPERTY IS ZONED R-4 CENTRAL CITY OVERLAY DISTRICT.
5. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT TITLE SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
6. THIS TRACT CONTAINS 11,319 S.F. OR 0.260 ACRES, MORE OR LESS.

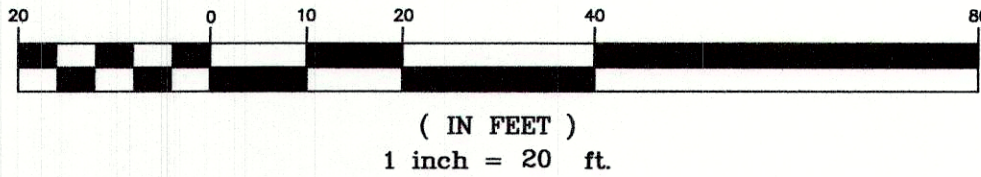
CERTIFICATE

THIS IS TO CERTIFY THAT THE ABOVE DESCRIBED LAND HAS BEEN SURVEYED. THE CORNERS ARE MARKED AS SHOWN AND ARE IN ACCORDANCE WITH EXISTING MONUMENTS IN THE VICINITY. THIS CERTIFICATION IS FOR AND LIMITED TO THE PARTIES SHOWN HEREON.



VICINITY MAP

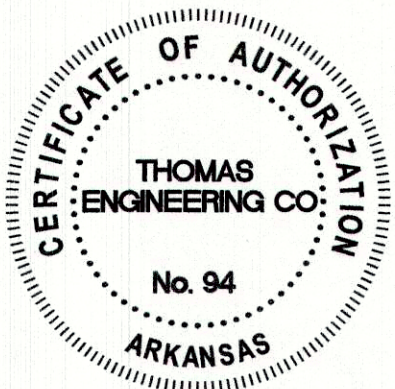
GRAPHIC SCALE



LEGEND

- PROPERTY LINE
- SANITARY SEWER LINE
- OVERHEAD ELECTRIC LINE
- WATER
- DOUBLE YELLOW LINE
- CURB & GUTTER
- CHAIN LINK FENCE
- SIGN POLE
- UTILITY POLE & GUY
- SANITARY SEWER MANHOLE
- TELEPHONE PEDESTAL
- BOLLARD
- WATER VALVE
- FIRE HYDRANT
- FOUND SURVEY MARKER
- IRON PIPE & CAP

FOR USE AND BENEFIT OF:
COPE GRACY



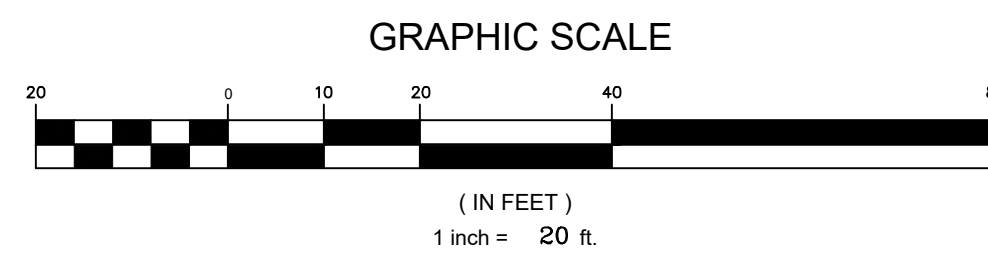
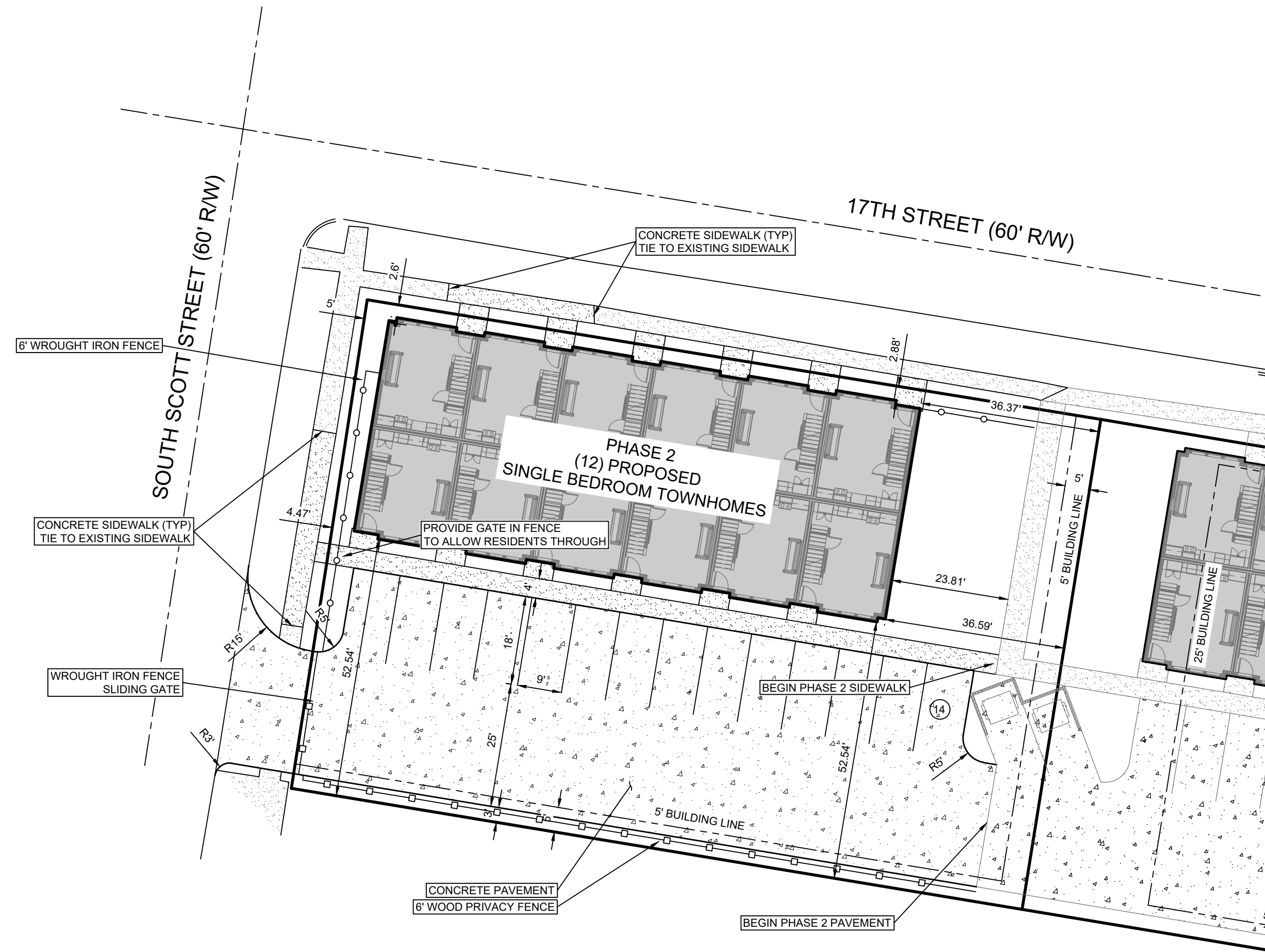
THOMAS
ENGINEERING
COMPANY

3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463 FAX: 501-753-6814

SURVEY

LOT 12 AND N1/2 LOT 11
BLOCK 163, CITY OF LITTLE ROCK
LITTLE ROCK, PULASKI COUNTY, ARKANSAS

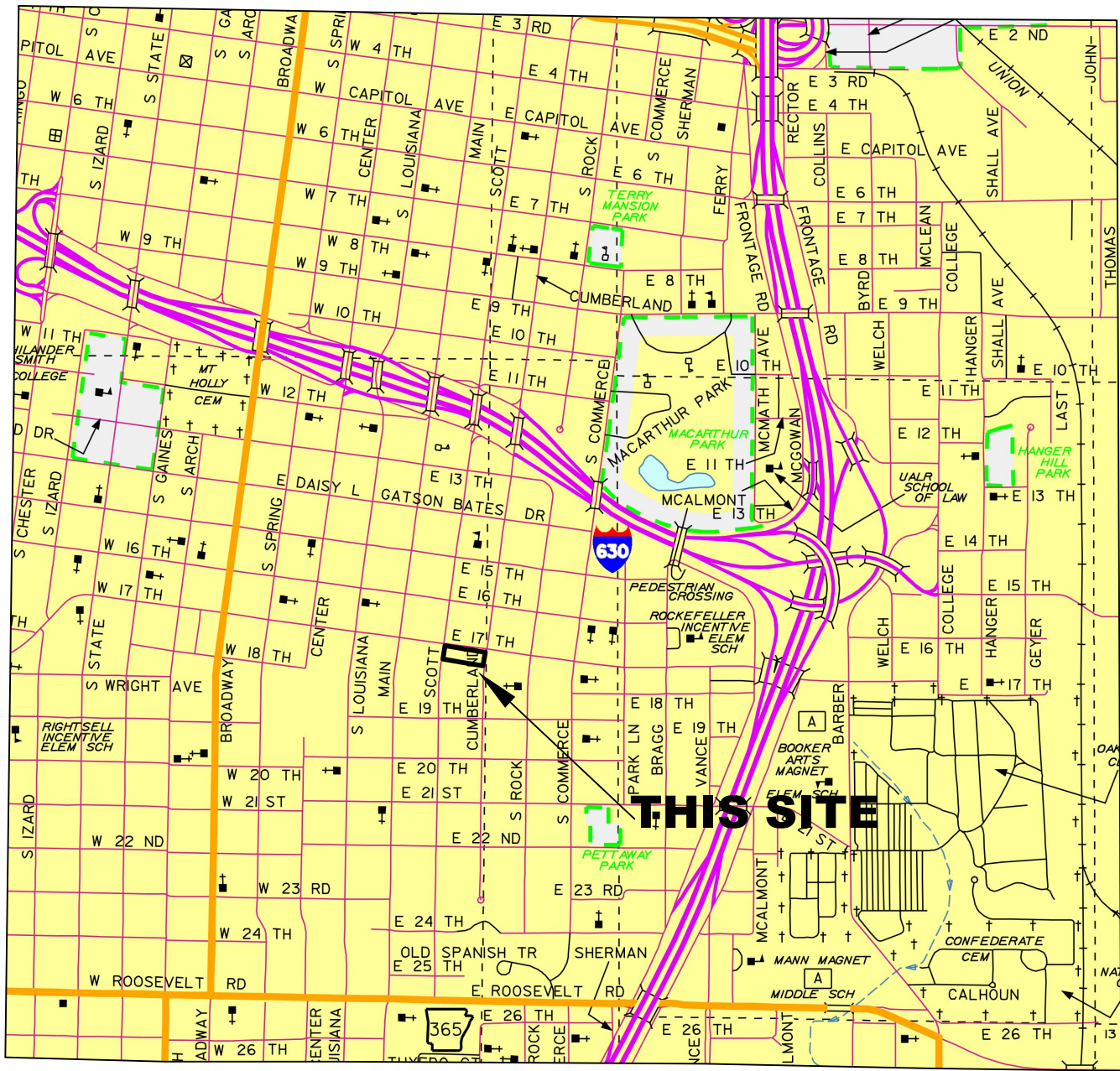
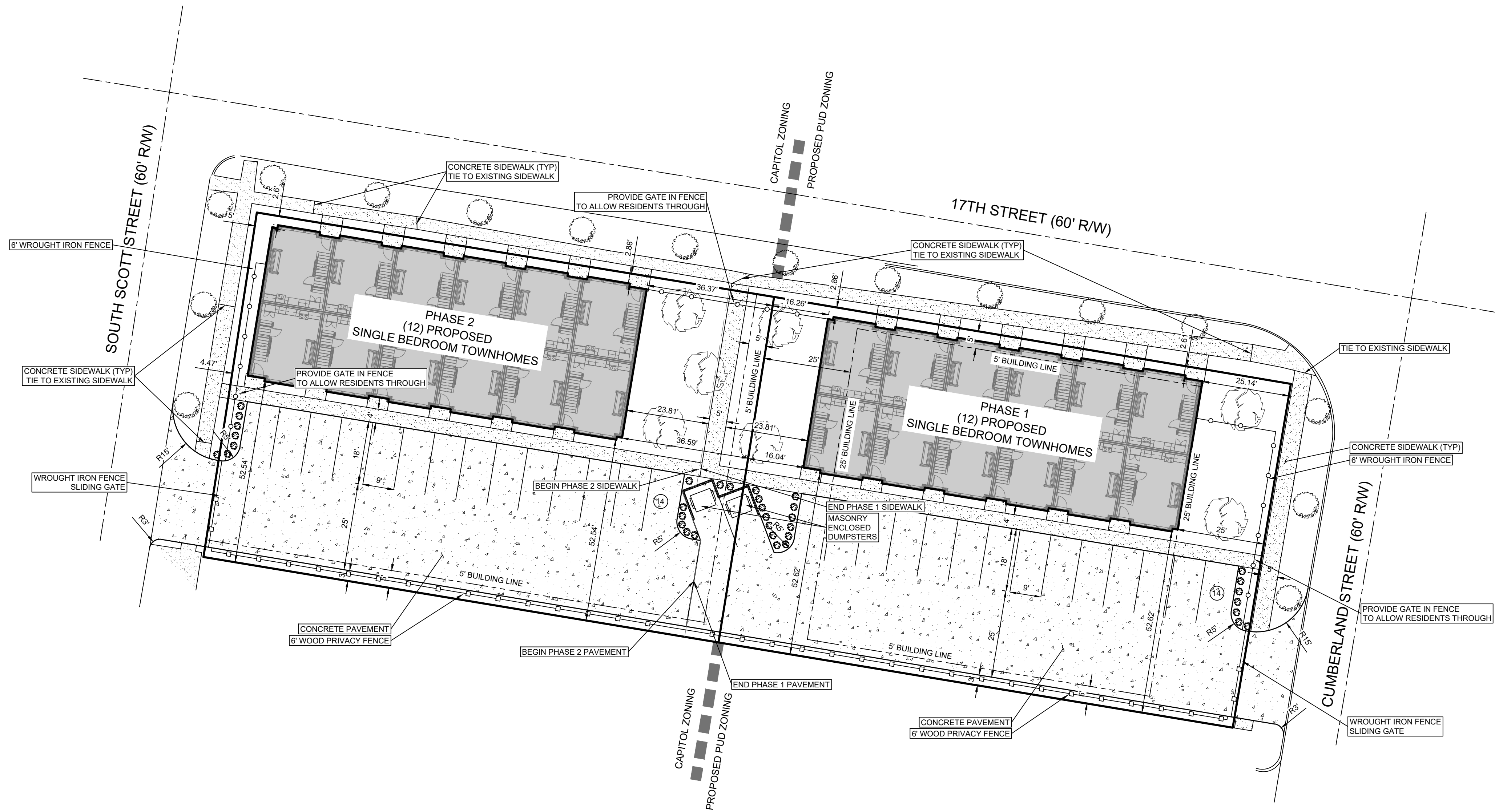
APPROVED	DRAWN BY	DATE	SHEET NO.
	JRB	11/14/19	
SCALE 1" = 20'			



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ENGINEERING
COMPANY

3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463 FAX: 501-753-6814

SITE PLAN 17TH STREET PHASE 2 LITTLE ROCK, ARKANSAS			
APPROVED	DRAWN BY	DATE	SHEET NO. C3
SCALE 1" = 20'	JB	8/07/23	



VICINITY MAP

LEGEND

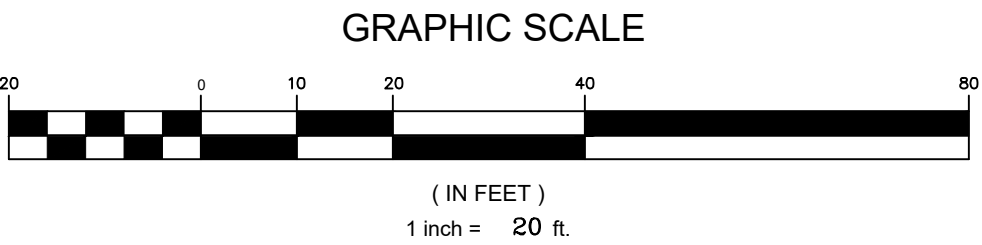
- SHOWS CONCRETE SIDEWALK
- SHOWS CONCRETE PAVEMENT
- SHOWS NEW BUILDING
- PARKING LOT TREES (RED MAPLE)
MIN 2.5" CALIPER AT INSTALLATION
- STREET TREES (PIN OAK)
30' SPACING
MIN 2.5" CALIPER AT INSTALLATION
- SHRUBS (DWARF YAUPON HOLLY)
3.0' O.C.
18" MINIMUM HEIGHT

SITE PLAN REVIEW NOTES

- SITE CONTAINS (24) PROPOSED SINGLE BEDROOM TOWNHOMES
- BASIS OF BEARINGS: PAGIS
- THE PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 050181 0457G DATED JULY 6, 2015.
- THESE PROPERTIES IS ZONED R-4 AND CAPITAL ZONING-O.
- ABUTTING PROPERTY IS ZONED R-4 TO THE EAST AND SOUTH, AND CAPITAL ZONING TO THE NORTH AND WEST.
- THIS TRACT CONTAINS 30009.20 S.F. OR 0.689 ACRES, MORE OR LESS.
- ALL LANDSCAPING SHALL HAVE AUTOMATIC IRRIGATION.

LEGAL DESCRIPTION
LOTS 2 & 3, BLOCK 44,
ARGENTA
CITY OF NORTH LITTLE ROCK, PULASKI
COUNTY, ARKANSAS.

FOR USE AND BENEFIT OF
RIVERWALK PROPERTIES, LLC
PO BOX 909
ROGERS, AR 72757-9090

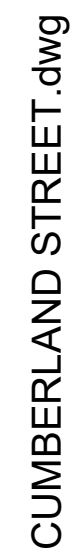


PARKING
PHASE 1: 14 SPOTS
PHASE 2: 14 SPOTS
TOTAL: 28 SPOTS

THOMAS ENGINEERING COMPANY
3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116
TEL: 501-753-4463 FAX: 501-753-6814

SITE PLAN
17TH STREET PHASE 1 & 2
LITTLE ROCK, ARKANSAS

APPROVED	DRAWN BY	DATE	SHEET NO.
	JB	8/07/23	C1
SCALE 1" = 20'			



PROVIDE GATE IN FENCE TO ALLOW RESIDENTS THROUGH

CONCRETE SIDEWALK (TYP)
TIE TO EXISTING SIDEWALK

17TH STREET (60' R/W)

CONCRETE SIDEWALK (TYP)
TIE TO EXISTING SIDEWALK

CONCRETE SIDEWALK (TYP)
6" WROUGHT IRON FENCE

PROVIDE GATE IN FENCE TO ALLOW RESIDENTS THROUGH

CUMBERLAND STREET (60' R/W)

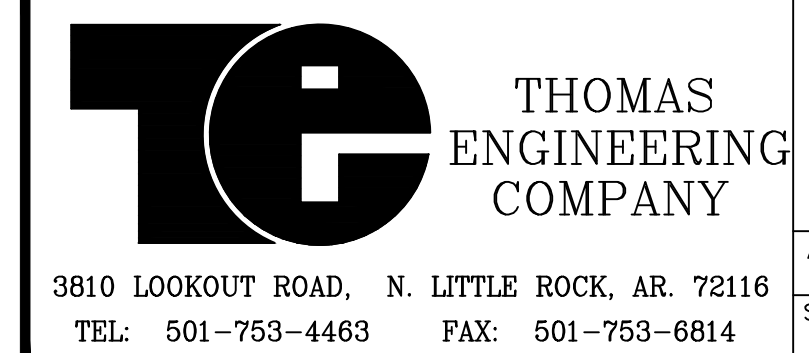
WROUGHT IRON FENCE
SLIDING GATE

END PHASE 1 SIDEWALK
MASONRY ENCLOSED DUMPSTERS

END PHASE 1 PAVEMENT

CONCRETE PAVEMENT
6" WOOD PRIVACY FENCE

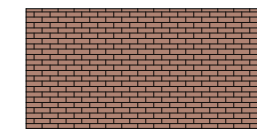
PHASE 1
(12) PROPOSED
SINGLE BEDROOM TOWNHOMES



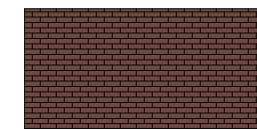
SITE PLAN
17TH STREET PHASE 1
LITTLE ROCK, ARKANSAS

APPROVED	DRAWN BY JB	DATE 8/07/23	SHEET NO. C2
SCALE 1" = 20'			

EXTERIOR MATERIALS LEGEND



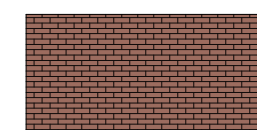
MODULAR BRICK - COLOR #1



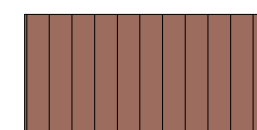
MODULAR BRICK - COLOR #3



METAL ACCENT TRIM, DOWNSPOUTS,
GUTTERS, COLOR - BLACK



MODULAR BRICK - COLOR #2



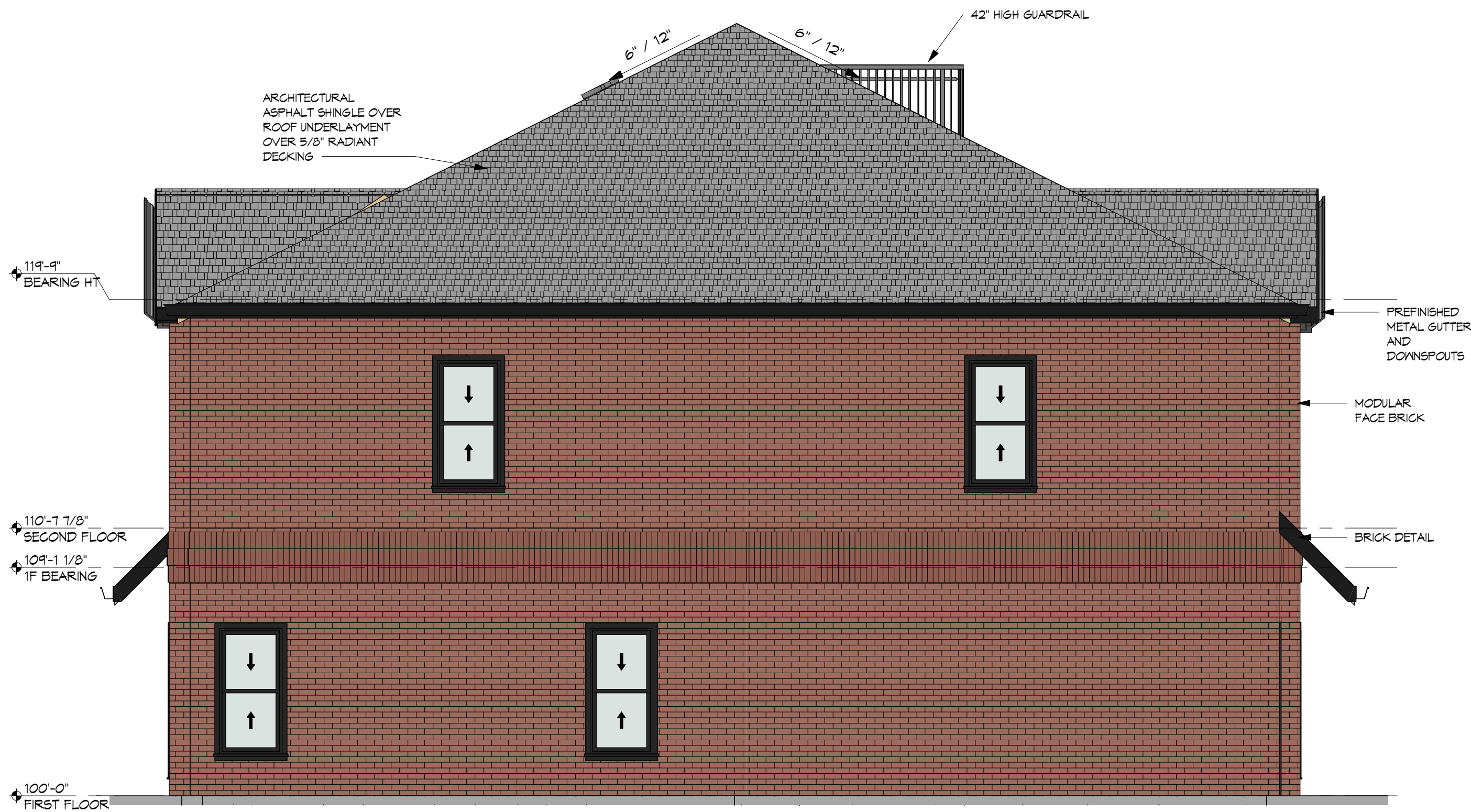
SOLDIER BRICK



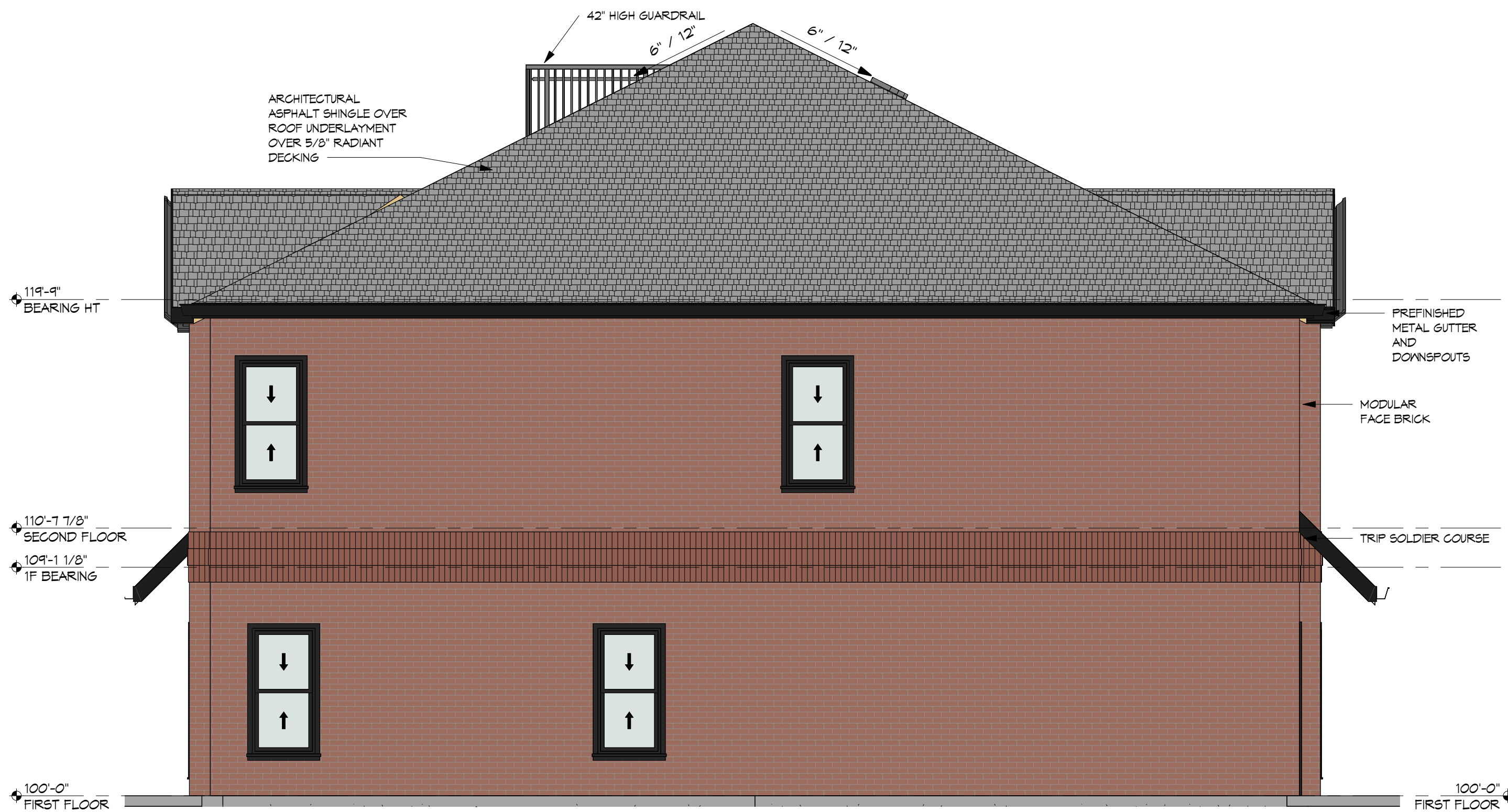
2 SOUTH ELEVATION COLOR
1/4" = 1'-0"



1 NORTH ELEVATION COLOR
1/4" = 1'-0"



② WEST ELEVATION COLOR
1/4" = 1'-0"



① EAST ELEVATION COLOR
1/4" = 1'-0"

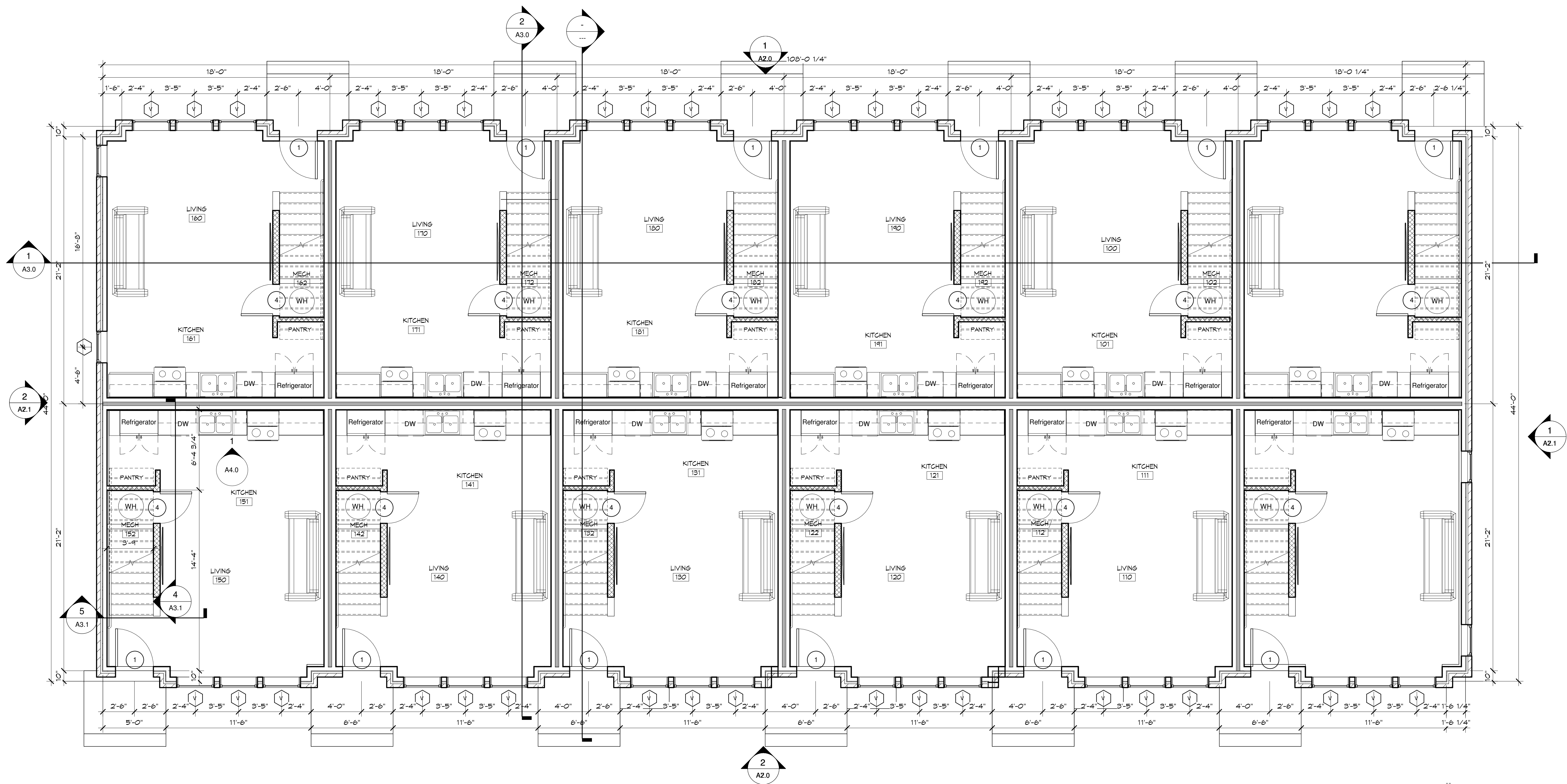
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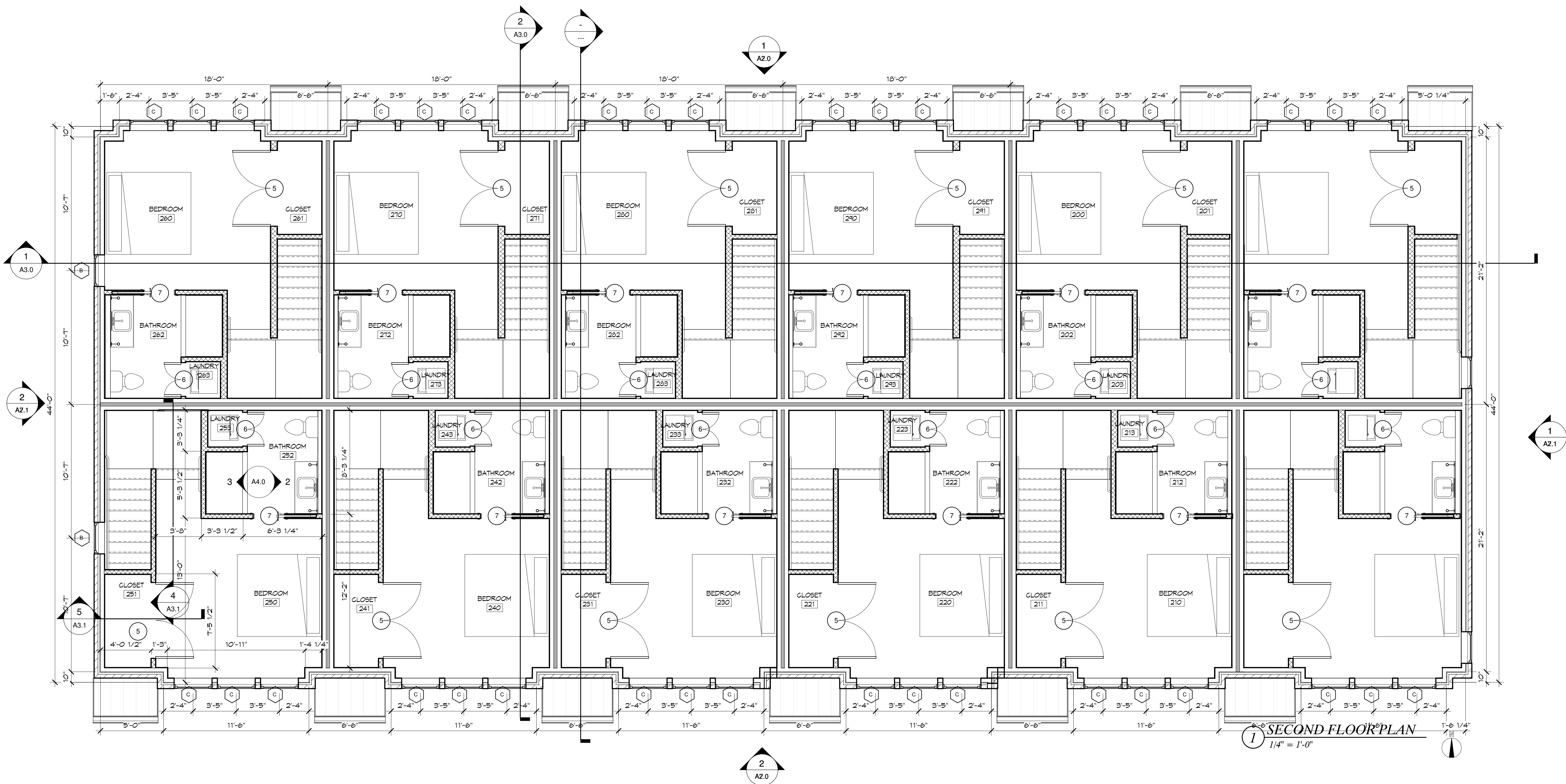
17TH ST TOWNHOMES
17ST ST
LITTLE ROCK, AR

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JOB NO.	21128
REVISIONS	

A7.1
COLOR ELEVATIONS



1 **FIRST FLOOR PLAN**
1/4" = 1'-0"

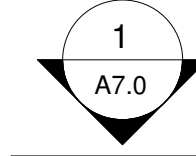
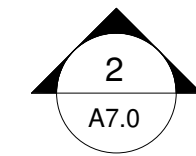
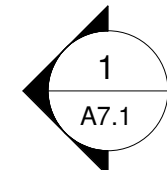
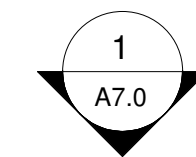
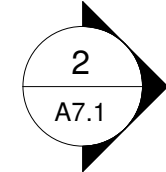
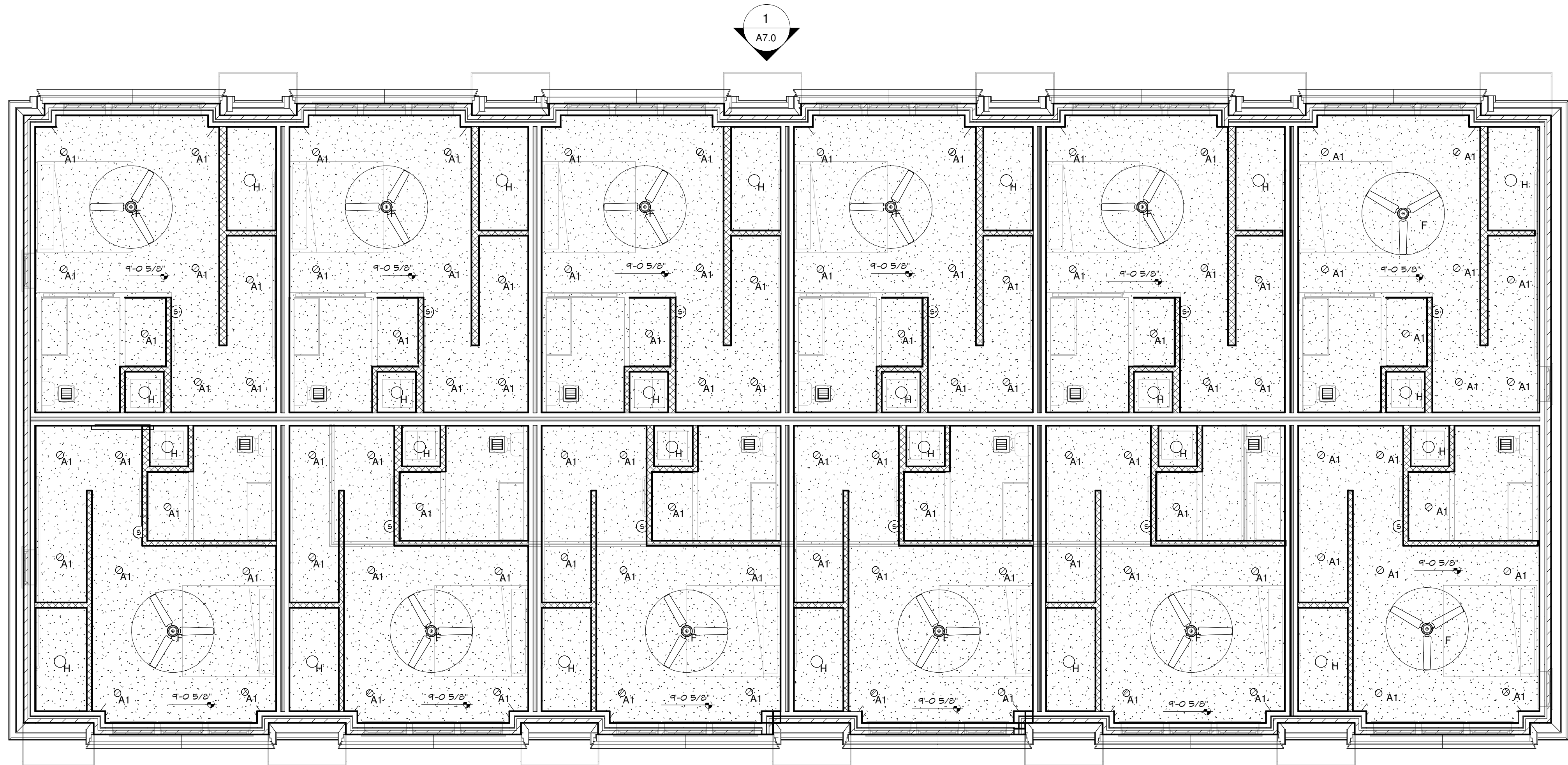


LIGHTING LEGEND

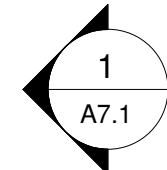
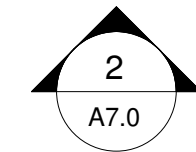
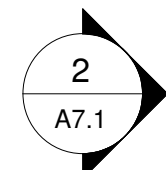
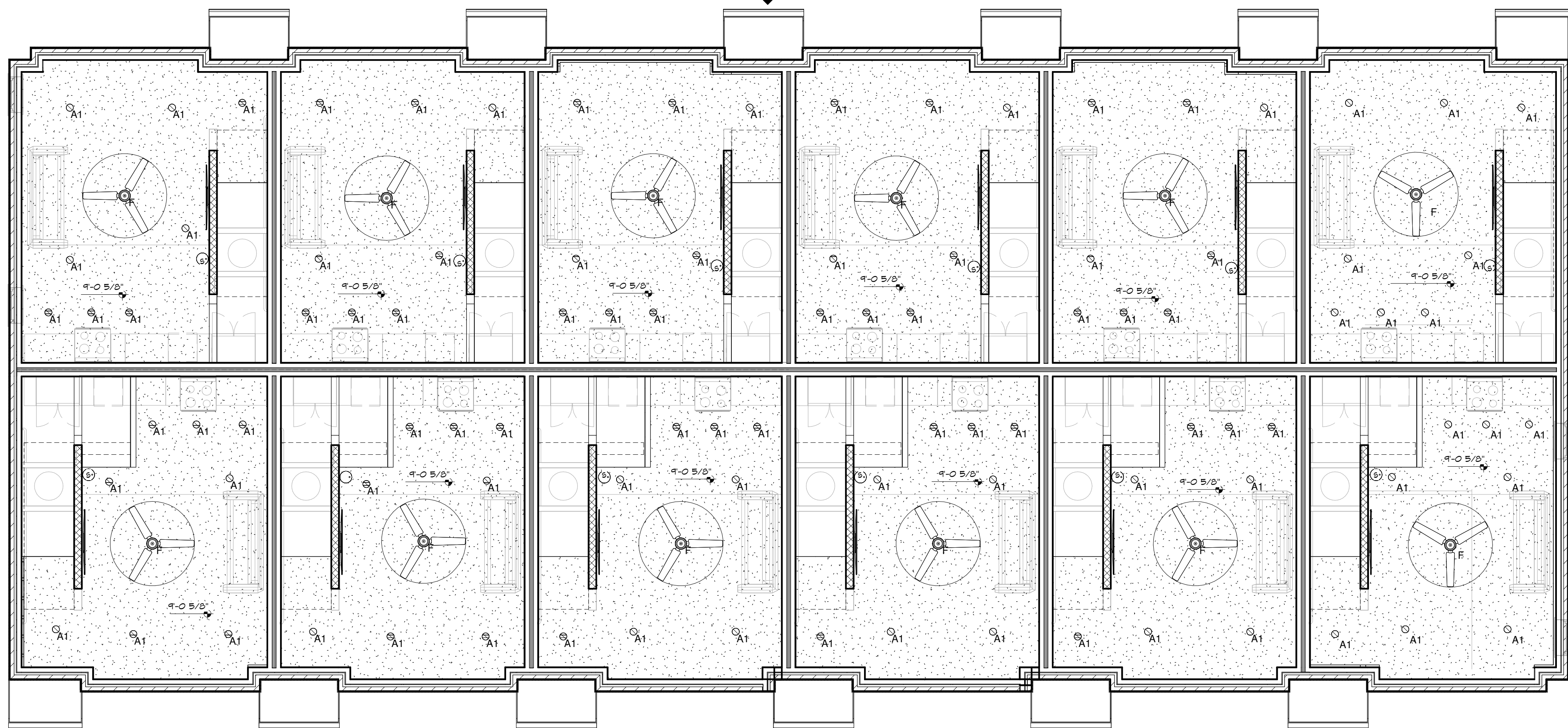
MK.	DESCRIPTION
⊙	120 V SMOKE DETECTOR/CARBON DIOXIDE W/ BATTERY BACKUP
■	EXHAUST FAN / LIGHT

LIGHT FIXTURE SCHEDULE

CALLOUT	DESCRIPTION	COUNT
A1	LED DOWNLIGHT, DAMP RATED, RECESSED	192
C2	VANITY WALL SCONCE	24
F	CEILING FAN	24
H	CLOSET LIGHT	24



2 SECOND FLOOR RCP
3/16" = 1'-0"



1 FIRST FLOOR RCP
3/16" = 1'-0"

17TH ST TOWNHOMES
17ST ST
LITTLE ROCK, AR

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A1.2
REFLECTED CEILING PLANS

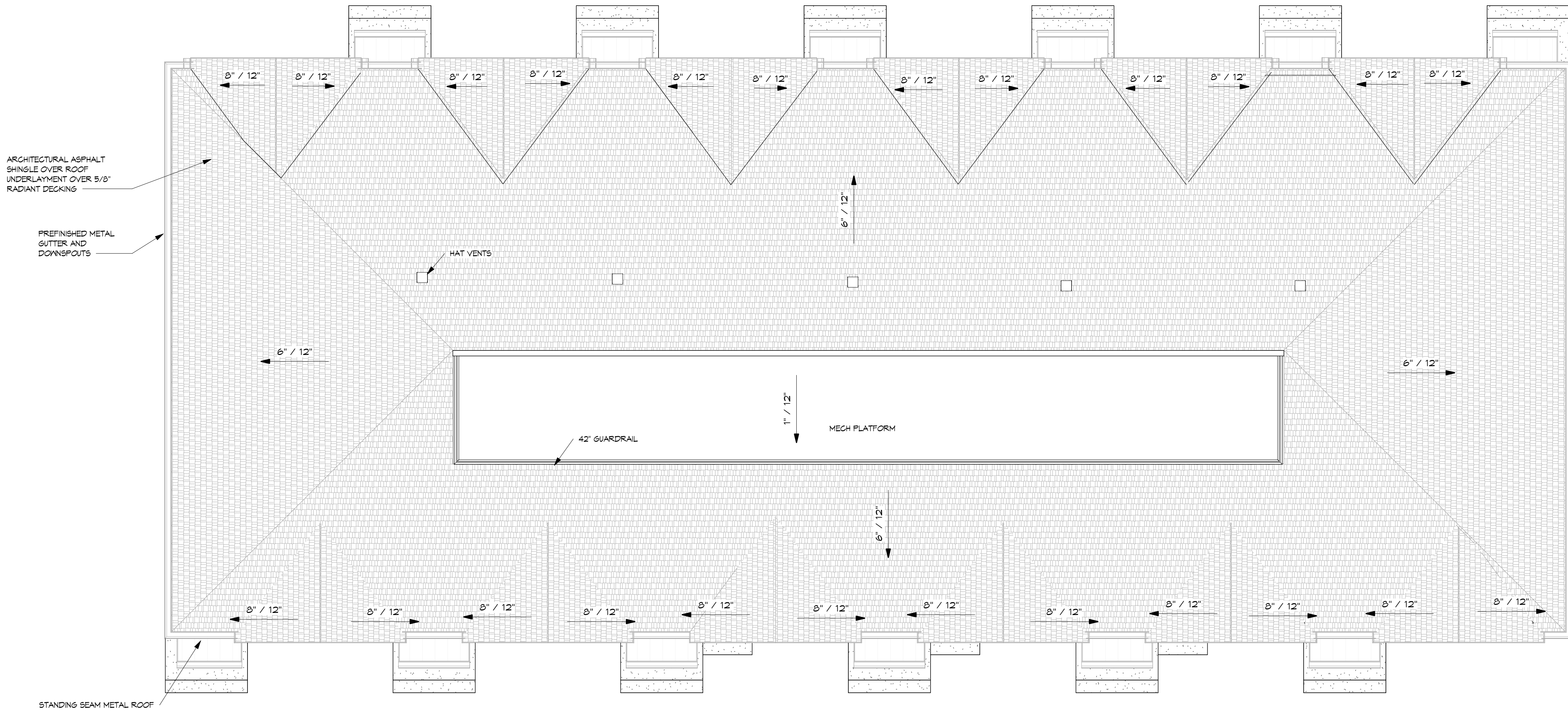
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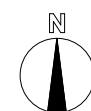
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GENERAL ROOF NOTES

1. INSTALL PER MANUFACTURER RECOMMENDATIONS.
2. INSTALL ICE AND WATER SHIELDS IN ALL VALLEYS.



1 ROOF PLAN
3/16" = 1'-0"



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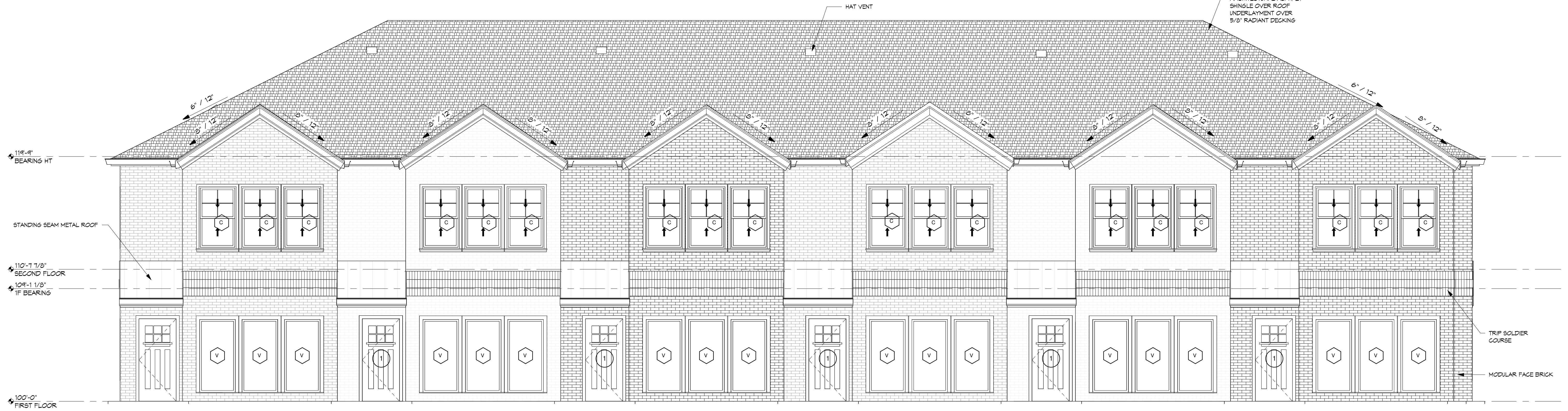
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17TH ST TOWNHOMES
17ST ST
LITTLE ROCK, AR

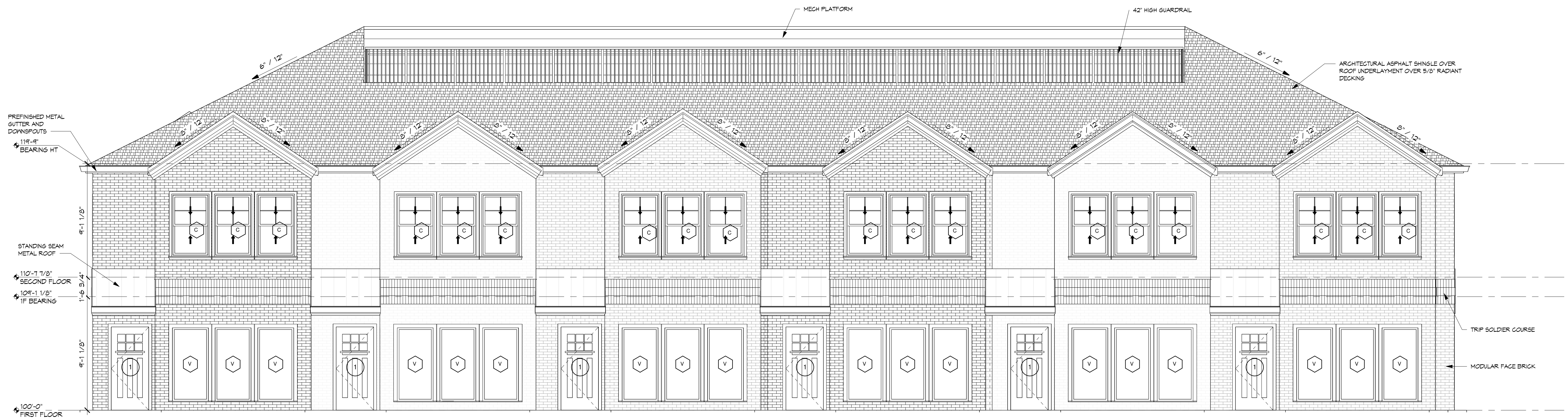
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A1.3
ROOF PLAN

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1 NORTH ELEVATION
1/4" = 1'-0"



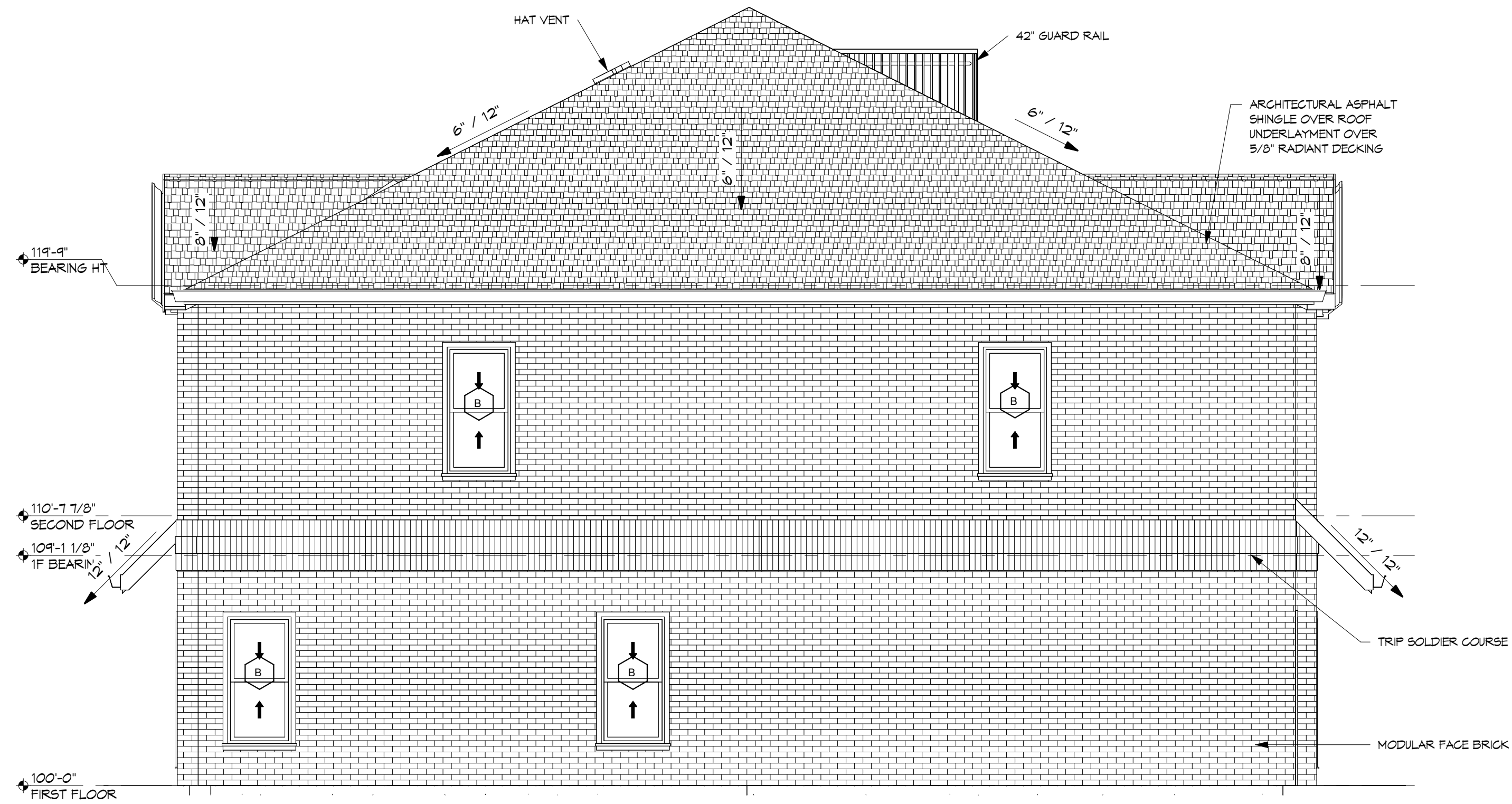
2 SOUTH ELEVATION
1/4" = 1'-0"

17TH ST TOWNHOMES
17ST ST
LITTLE ROCK, AR

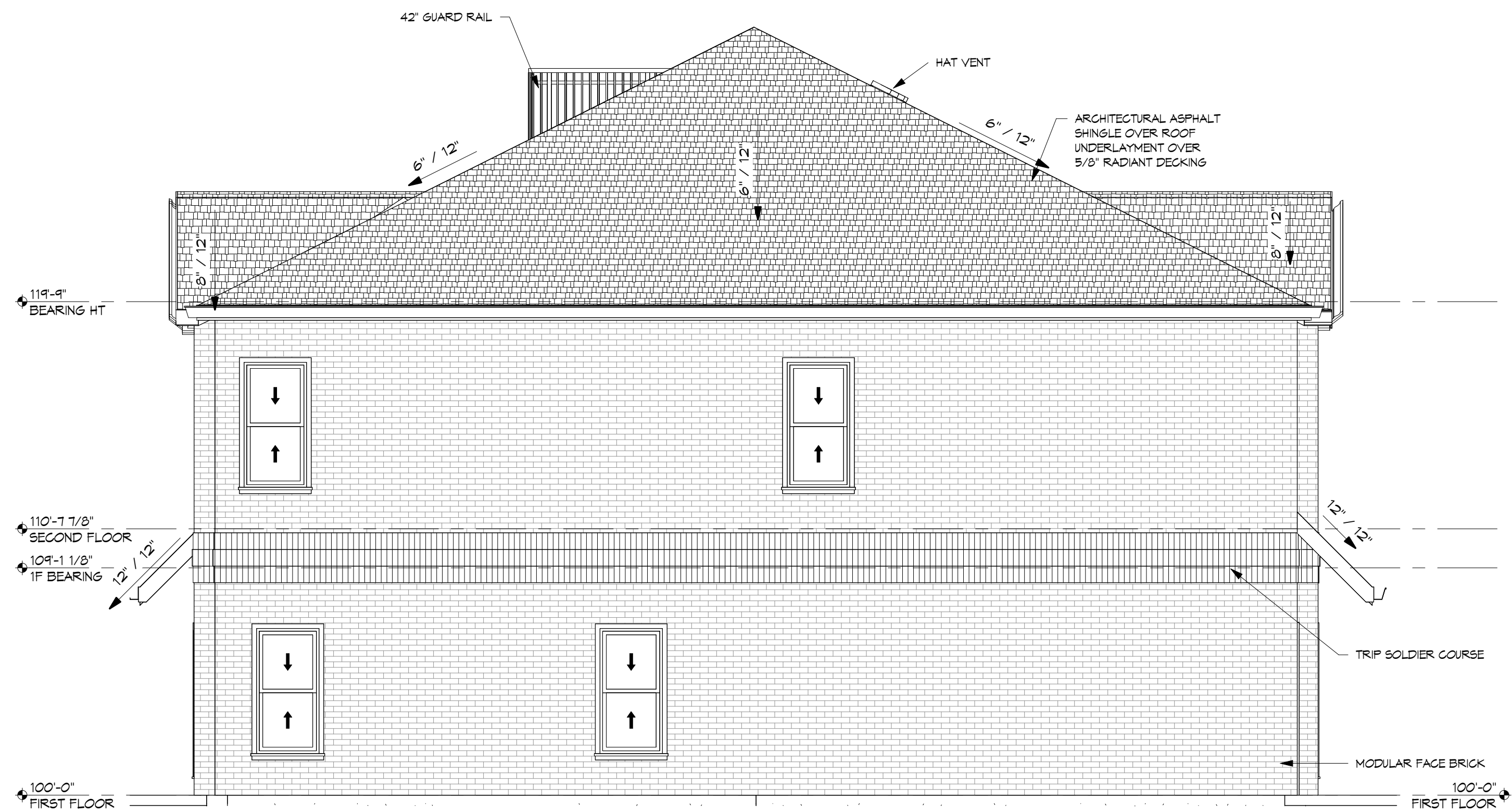
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A2.0
EXTERIOR ELEVATIONS

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2 WEST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

17TH ST TOWNHOMES
17ST ST
LITTLE ROCK, AR

DATE
8-2-23
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A2.1
EXTERIOR ELEVATIONS

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CAPITOL ZONING
DISTRICT COMMISSION

CAPITOL ZONING DISTRICT COMMISSION

PERMIT APPLICATION FOR NEW CONSTRUCTION AND ADDITIONS

PROPERTY ADDRESS TBD 17th Street

PROPERTY OWNER Riverwalk Properties LLC

PERSON FILING APPLICATION Cope Gray

if other than owner, complete the Authorization of Representation statement provided.

APPLICANT PHONE 479-530-5060 EMAIL cope@graybuilt.com

MAILING ADDRESS P.O. Box 909 Rogers, AR 72757

APPLICANT SIGNATURE  DATE _____

Signature certifies that applicant is authorized to represent this property, and that all information presented in this application, as well as in any supporting materials, is true and correct to the best of the signatory's knowledge.

DESCRIPTION OF PROPOSED WORK:

This application is for additions to existing structures or for construction of new buildings, either primary or accessory.

Attach as many pages or supporting materials as necessary (see attached for more information). An application is not complete and will not be scheduled for Commission review until all applicable supporting materials have been submitted to staff. Electronic submittals (email, scanned documents, PDFs, digital images, etc.) are welcome. You may submit the application in person or by mail at 1100 North St., Little Rock, AR, or via email at capitol.zoning@arkansas.gov. Please call 501.324.9644 for assistance.

INSTRUCTIONS ON NEXT PAGE:



Capitol Zoning District Commission
1100 North Street • Little Rock, AR 72201